

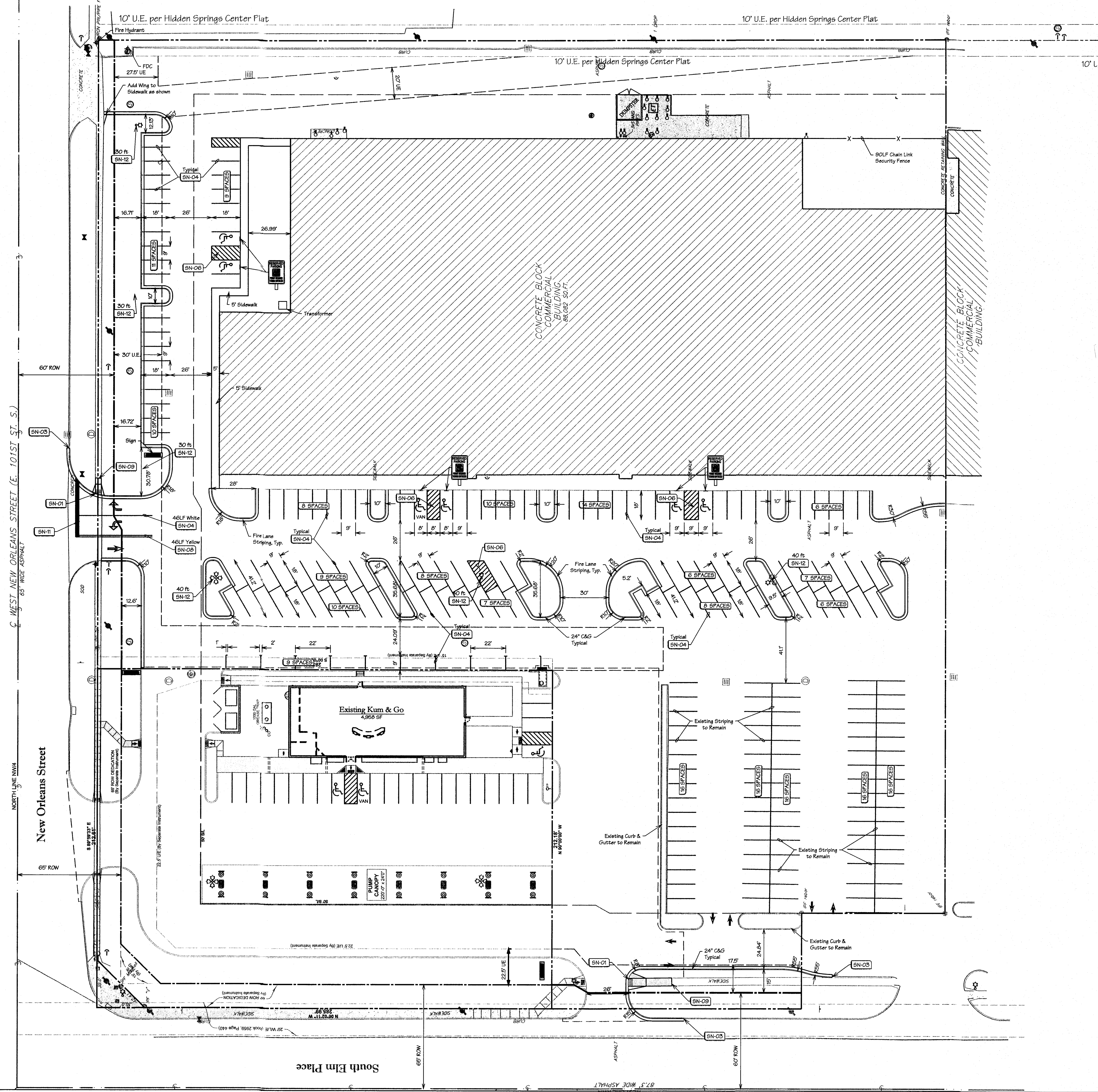
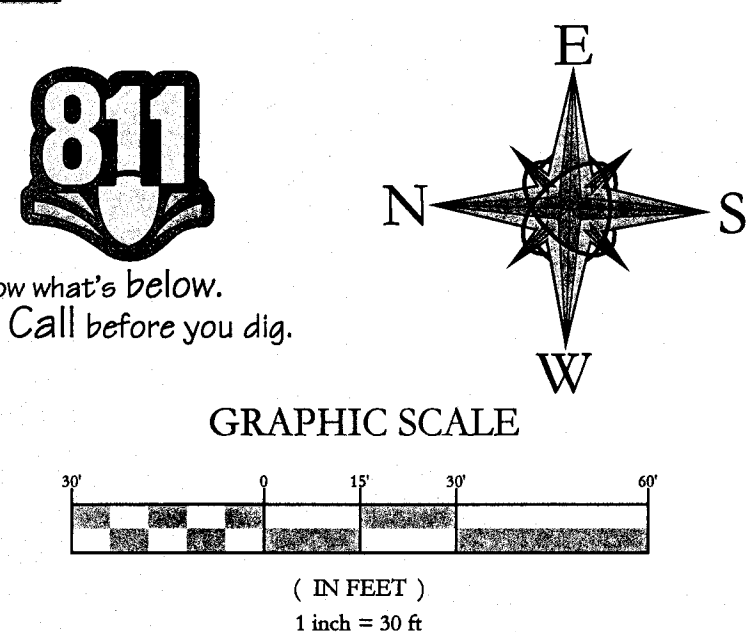
Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Lines
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter
	(See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet
	For Pavement Sections)
	Concrete Pavement (See Detail Sheet
	For Pavement Sections)
	Concrete Sidewalk
	(See Site Plan For Dimensions)
	General Fence Line
	(See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Parking Counter
	Storm Catch Basin(e)
	Retaining Wall
<u>See UTILITY PLAN for More Information</u>	
	Gate Valve
	Fire Hydrant Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

Note:

- * See Survey For Existing Features Legend.
- * See Cover Sheet For Abbreviation List.

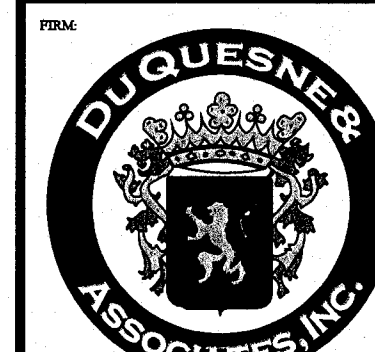
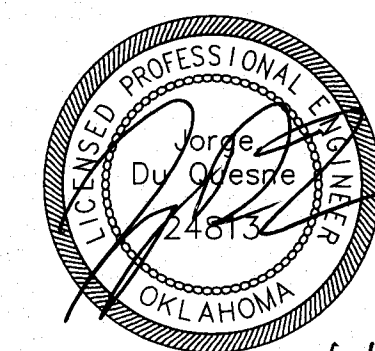
PROPERTY INFORMATION		
Gross Site Area:	258,482.78 sf	5.93 acres
Proposed Dedicated R.O.W:	6,085.11 sf	0.14 acres
Net Site Area:	252,397.67 sf	5.79 acres
Zoning:	CG - Commercial General District	
ZONING REGULATIONS		
Max Bldg. Height:		None
Front Yards:		50 ft
Side Yards:		0 ft
Rear Yards:		50 ft
Minimum Lot Frontage:		200 ft
SITE INFORMATION		
Total Paved Area:	136,662.96 sf	3.14 acres
Total Sidewalk Area:	9,248.59 sf	0.21 acres
Total Building Area:	88,082.00 sf	2.02 acres
Commercial:	33,441.70 sf	0.77 acres
Mini-Storage:	54,640.30 sf	1.25 acres
Total Impervious Area:	233,993.55 sf	92.7%
Total Pervious Area:	18,404.12 sf	0.07 acres
PARKING REGULATIONS		
Required Spaces Ratio:	1 Space / 300 sf Commercial	
	1 Space / 3,000 sf Storage	
Required Spaces (Total):		130
Provided Spaces (Total):		138
Provided Accessible Spaces:		6

SN-01	Crosswalk and Curb Ramp with Truncated Dome Detectable Warnings per ADA and/or Municipal Specifications.
SN-03	Taper Curb & Gutter to Match Existing
SN-04	4" Painted Yellow Striping
SN-06	4" Wide Painted Stripes, Z'-O" o.c. @ 45°
SN-08	4" Wide Double Lane Striping - per M.U.T.C.D. (See Plan for Length and Color)
SN-09	Match Existing Sidewalk
SN-10	Accessible Ramp in Sidewalk
SN-11	24" White Stop Bar
SN-12	Existing Light Pole to Remain. See Plan for Height.

[illegible]

Site Plan

Concept for:
Janus IV Commercial Development
3601 South Elm Place
South Allies of Oklahoma, LLC
Mr. Bill Keating
216 E. Township, Fayetteville, AR 72703
(479) 442-4762



www.1EG-AR.com Certificate of Authorization No 6094	
DRAWN BY: J. Du Quesne	JOB NUMBER: 11-007
REVIEWED BY: _____	APPROVED: ☐
INITIALS _____	SUBMITTAL DATE: 2013-01-01
DRAWING NAME: 11-007 Civil 011 Site Plan.dwg	
SURETY NUMBER: _____	

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