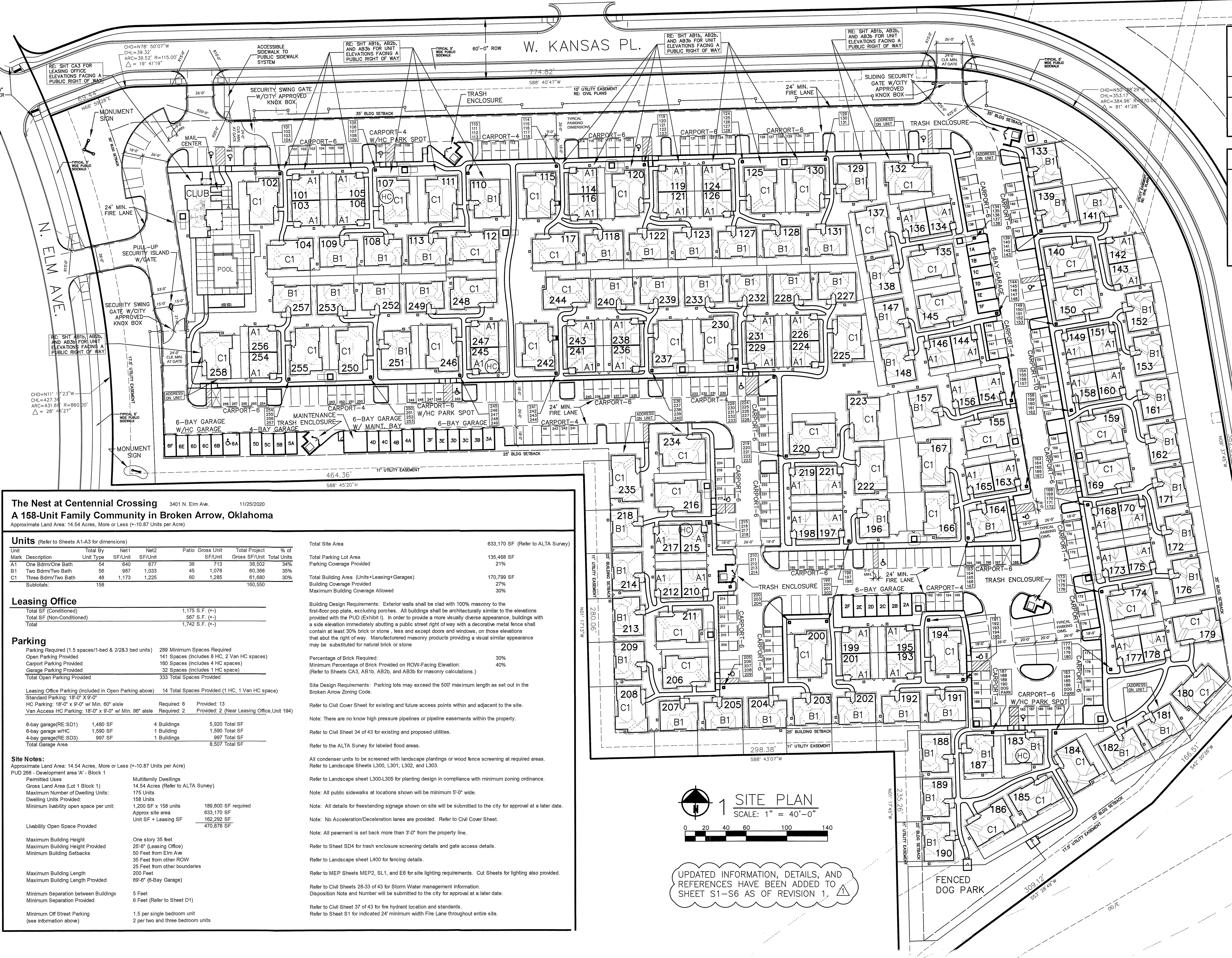




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SITE LEGEND

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- UNIT CONDENSER FOR HVAC SYSTEM
- WAYFINDING MONUMENT WITH UNIT ADDRESS

The Nest at Centennial Crossing 3401 N. Elm Ave. 11/25/2020
A 158-Unit Family Community in Broken Arrow, Oklahoma
Approximate Land Area: 14.54 Acres, More or Less (~10.87 Units per Acre)

Units (Refer to Sheets A1-A3 for dimensions)

Unit Mark	Description	Total By Unit Type	Net1 SF/Unit	Net2 SF/Unit	Patio SF/Unit	Gross Unit SF/Unit	Total Project Gross SF/Unit	% of Total Units
A1	One Bdrm/One Bath	54	640	677	38	713	38,502	34%
B1	Two Bdrm/Two Bath	56	997	1,033	49	1,078	60,368	35%
C1	Three Bdrm/Two Bath	48	1,173	1,225	60	1,285	61,680	30%
Subtotals:		158					160,550	

Parking

Parking Required (1.5 spaces/1-bed & 2/2&3 bed units)	289 Minimum Spaces Required
Open Parking Provided	141 Spaces (includes 8 HC, 2 Van HC spaces)
Carport Parking Provided	160 Spaces (includes 4 HC spaces)
Garage Parking Provided	32 Spaces (includes 1 HC space)
Total Open Parking Provided	333 Total Spaces Provided

Leasing Office Parking (included in Open Parking above)

Standard Parking: 18'-0" x 9'-0"	14 Total Spaces Provided (1 HC, 1 Van HC space)
HC Parking: 18'-0" x 9'-0" w/ Min. 60" aisle	Required: 6 Provided: 13
Van Access HC Parking: 18'-0" x 9'-0" w/ Min. 96" aisle	Required: 2 Provided: 2 (Near Leasing Office, Unit 194)

Leasing Office

Total SF (Conditioned)	1,175 S.F. (+/-)
Total SF (Non-Conditioned)	567 S.F. (+/-)
Total	1,742 S.F. (+/-)

Parking

6-bay garage(RE:SD1)	1,490 SF	4 Buildings	5,920 Total SF
6-bay garage w/HC	1,590 SF	1 Building	1,590 Total SF
4-bay garage(RE:SD3)	997 SF	1 Buildings	997 Total SF
Total Garage Area			8,507 Total SF

Site Notes:
Approximate Land Area: 14.54 Acres, More or Less (~10.87 Units per Acre)
PUD 266 - Development area 'A' - Block 1

Permitted Uses	Multifamily Dwellings
Gross Land Area (Lot 1 Block 1)	14.54 Acres (Refer to ALTA Survey)
Maximum Number of Dwelling Units:	175 Units
Dwelling Units Provided:	158 Units
Minimum livability open space per unit:	1,200 SF x 158 units 189,600 SF required
Approx site area	633,170 SF
Unit SF + Leasing SF	162,292 SF
Livability Open Space Provided	470,878 SF

Maximum Building Height: One story 35 feet
Maximum Building Height Provided: 25'-6" (Leasing Office)
Minimum Building Setbacks: 50 Feet from Elm Ave
35 Feet from other ROW
25 Feet from other boundaries
200 Feet
69'-6" (6-Bay Garage)

Maximum Building Length: 200 Feet
Maximum Building Length Provided: 69'-6" (6-Bay Garage)

Minimum Separation between Buildings: 5 Feet
Minimum Separation Provided: 6 Feet (Refer to Sheet D1)

Minimum Off Street Parking (see information above): 1.5 per single bedroom unit
2 per two and three bedroom units

3401 N. ELM AVE.

The Nest
at Centennial Crossing

Broken Arrow, Oklahoma

Parker Associates Tulsa, LLC
2202 E. 49th St., #200, Tulsa OK 74105
(918)-742-2485

BRYAN HULST - ARCHITECT OF RECORD
OKLAHOMA LICENSE # 5009

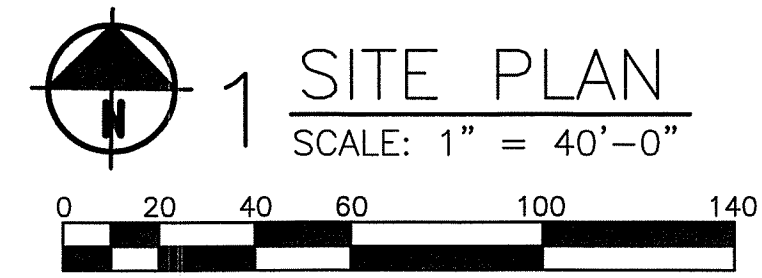
TULSA PROPERTY GROUP

1209 S. Frankfort Ave, Suite #302
Tulsa, OK 74120
(918)-900-6246

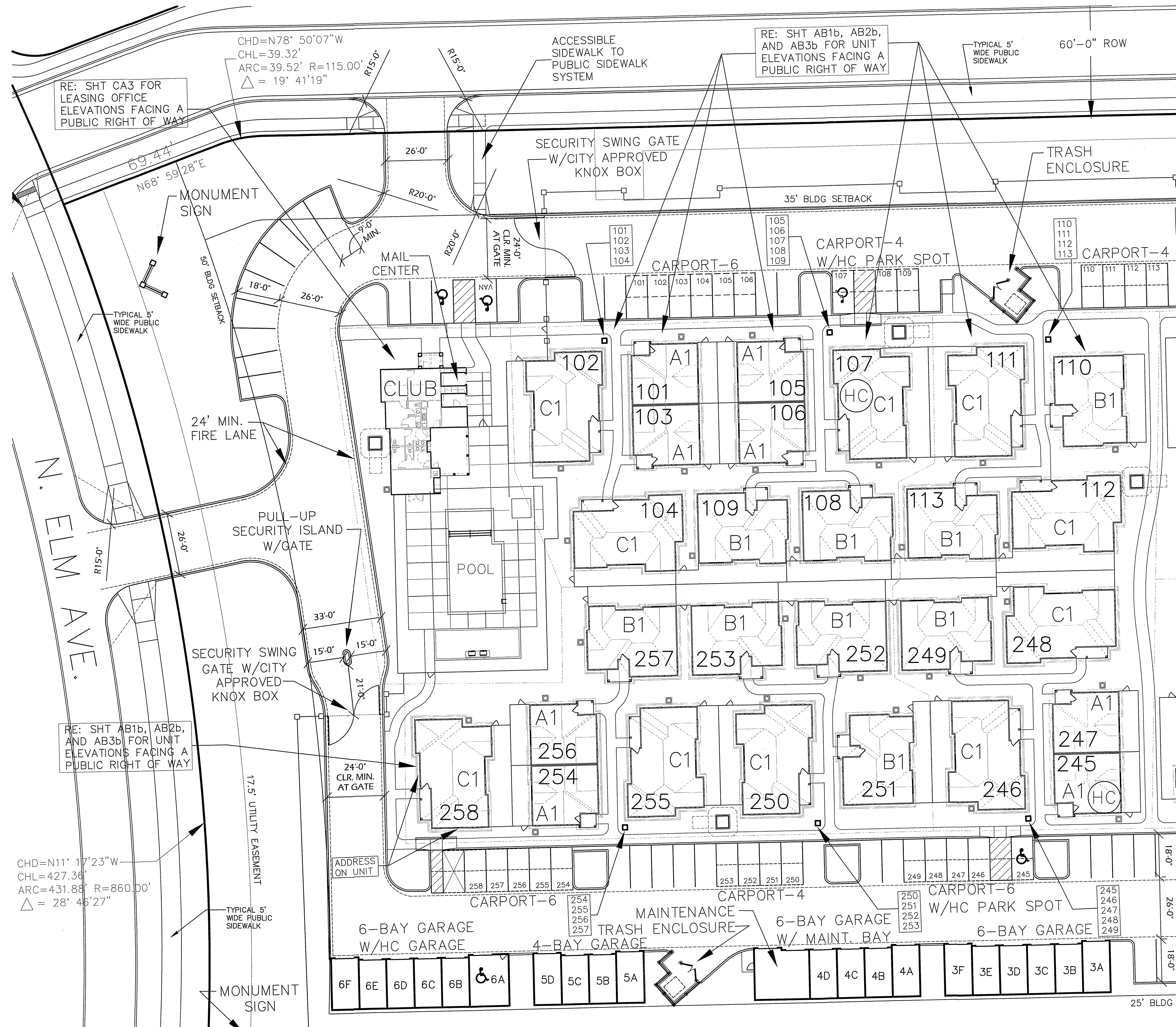
JOB NUMBER: 219029
DRAWN BY: BH,TA
DATE: 10/30/2020
1-REV. 11-25-20

SITE PLAN

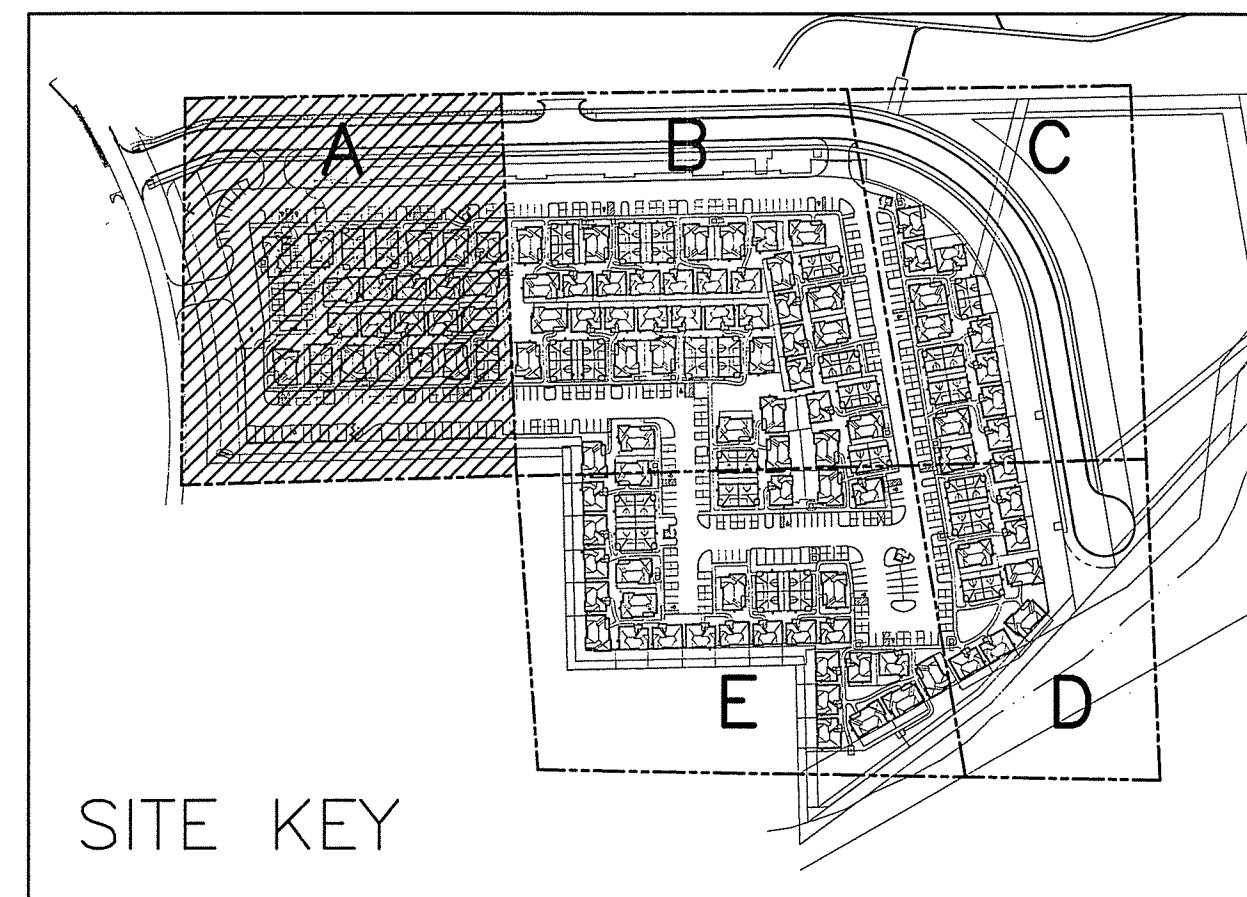
SHEET NUMBER **S1** OF 6



UPDATED INFORMATION, DETAILS, AND REFERENCES HAVE BEEN ADDED TO SHEET S1-S6 AS OF REVISION 1.



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BRYAN EDWARD HULST
NO. 5009
11-30-20

JOB NUMBER: 219029
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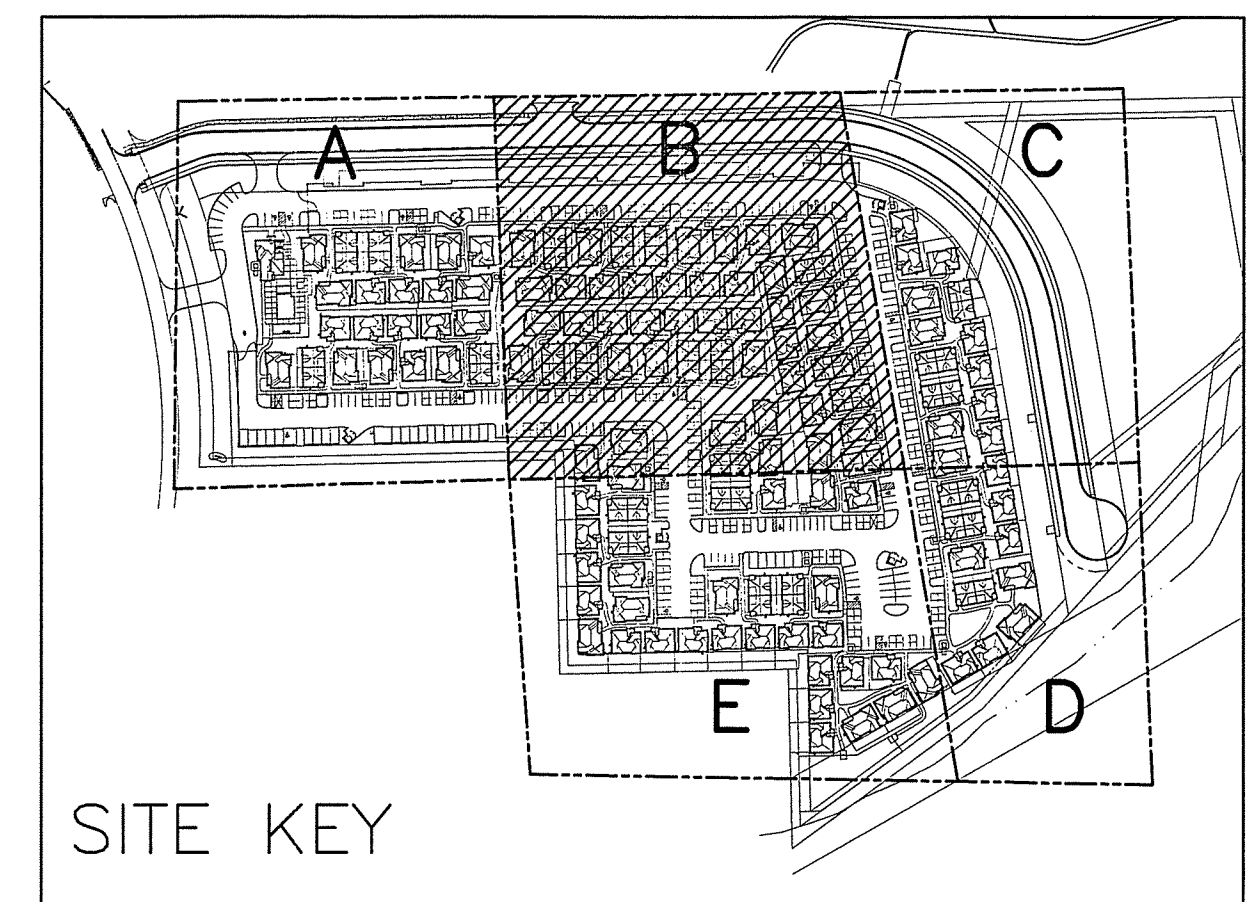
SITE DETAIL A
SHEET NUMBER **S2** OF 6

1 SITE DETAIL A
1"=20'-0"

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BRYAN HULST - ARCHITECT OF RECORD
OKLAHOMA LICENSE # 5009

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1209 S. Frankfort Ave., Suite #302
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(918)-900-6246

BRYAN EDWARD HULST
NO. 5009
LICENSED ARCHITECT
STATE OF OKLAHOMA

JOB NUMBER: 219029
DRAWN BY: BH,TA
DATE: 10/30/2020
1-REV: 11-25-20

SHEET NUMBER **S3** OF 6

1 SITE DETAIL B
1"=20'-0"

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RE: SHT AB1b, AB2b, AND AB3b FOR UNIT ELEVATIONS FACING A PUBLIC RIGHT OF WAY

SLIDING SECURITY GATE W/CITY APPROVED KNOX BOX

24'-0" CLR. MIN. AT GATE

TYPICAL 5' WIDE PUBLIC SIDEWALK

CHD=N50° 28' 29" W
CHL=353.17'
ARC=384.96' R=270.00'
Δ = 81° 41' 28"

35' BLDG SETBACK

TRASH ENCLOSURE

ADDRESS ON UNIT

CARPORT-6

6-BAY GARAGE

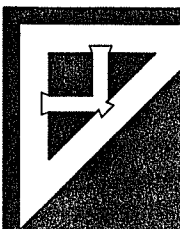
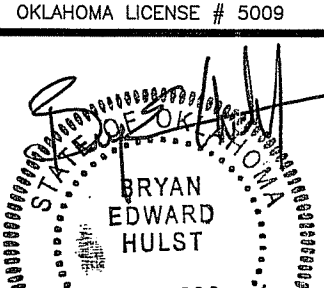
CARPORT-4

CARPORT-10

UTILITY EASEMENT RE: CIVIL PLANS

382.50'
N09° 37' 45" W

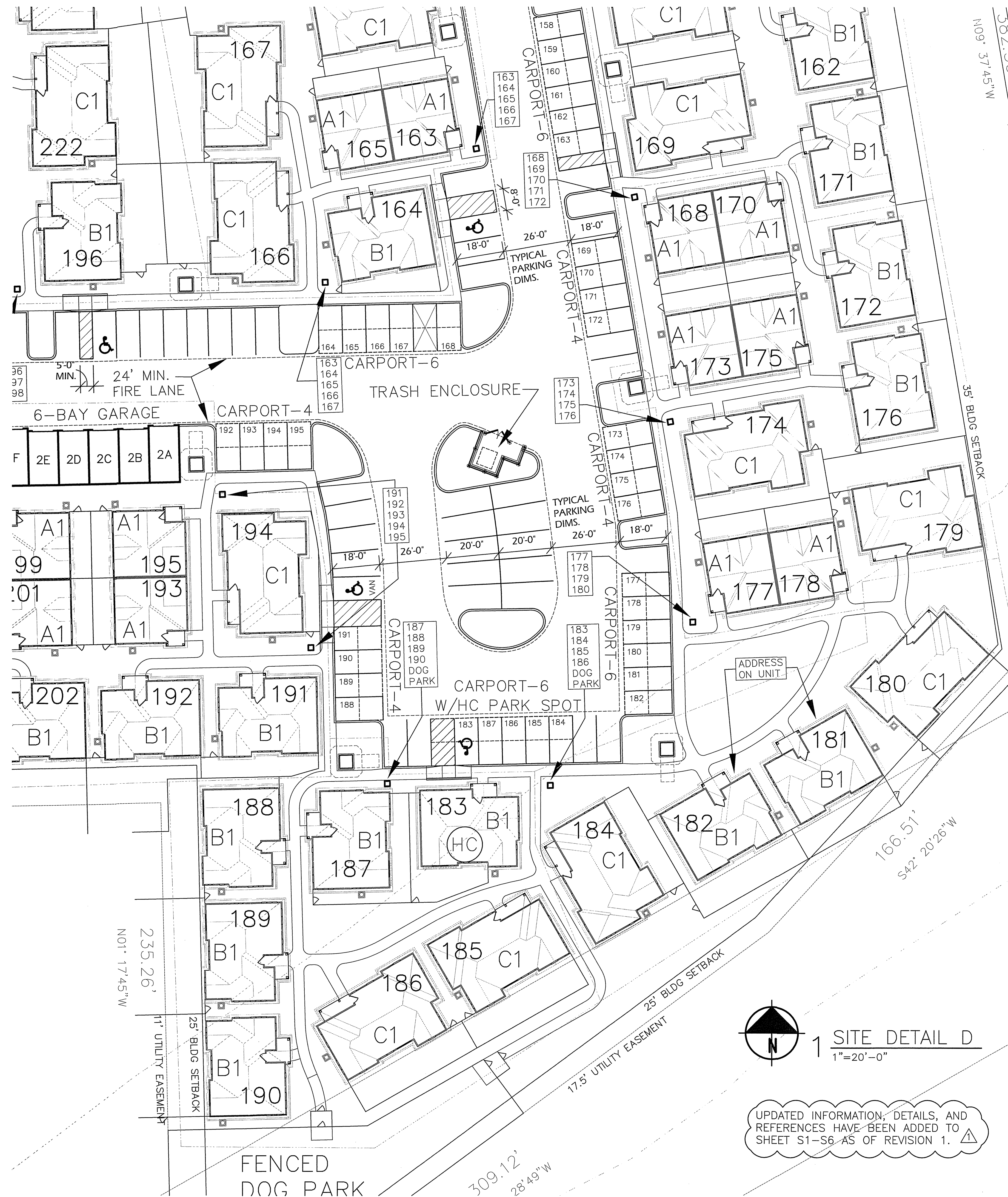
A detailed site plan of the University of California, Berkeley campus, divided into five regions labeled A, B, C, D, and E. Region A is the top-left section, B is the top-right, C is the bottom-right, D is the bottom-left, and E is the central section. The plan shows various buildings, streets, and green spaces.

3401 N. ELM AVE. The Nest at Centennial Crossing Broken Arrow, Oklahoma													
 Parkster Associates Tulsa, LLC 2202 E. 49th St., #200, Tulsa OK 74105 (918)-742-2485	 TULSA PROPERTY GROUP 1209 S. Frankfort Ave, Suite #302 Tulsa, OK 74120 (918)-900-6264												
BRYAN HULST — ARCHITECT OF RECORD OKLAHOMA LICENSE # 5009	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">JOB NUMBER:</td> <td style="width: 50%;">219029</td> </tr> <tr> <td>DRAWN BY:</td> <td>BH,TA</td> </tr> <tr> <td>DATE:</td> <td>10/30/2020</td> </tr> <tr> <td>1-REV. 11-25-20</td> <td></td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	JOB NUMBER:	219029	DRAWN BY:	BH,TA	DATE:	10/30/2020	1-REV. 11-25-20					
JOB NUMBER:	219029												
DRAWN BY:	BH,TA												
DATE:	10/30/2020												
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	SITE DETAIL C <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <tr> <td style="width: 30%;">SHEET</td> <td style="width: 40%; text-align: center; font-size: 2em; font-weight: bold;">S4</td> <td style="width: 30%;">OF 6</td> </tr> <tr> <td>NUMBER</td> <td></td> <td></td> </tr> </table>	SHEET	S4	OF 6	NUMBER								
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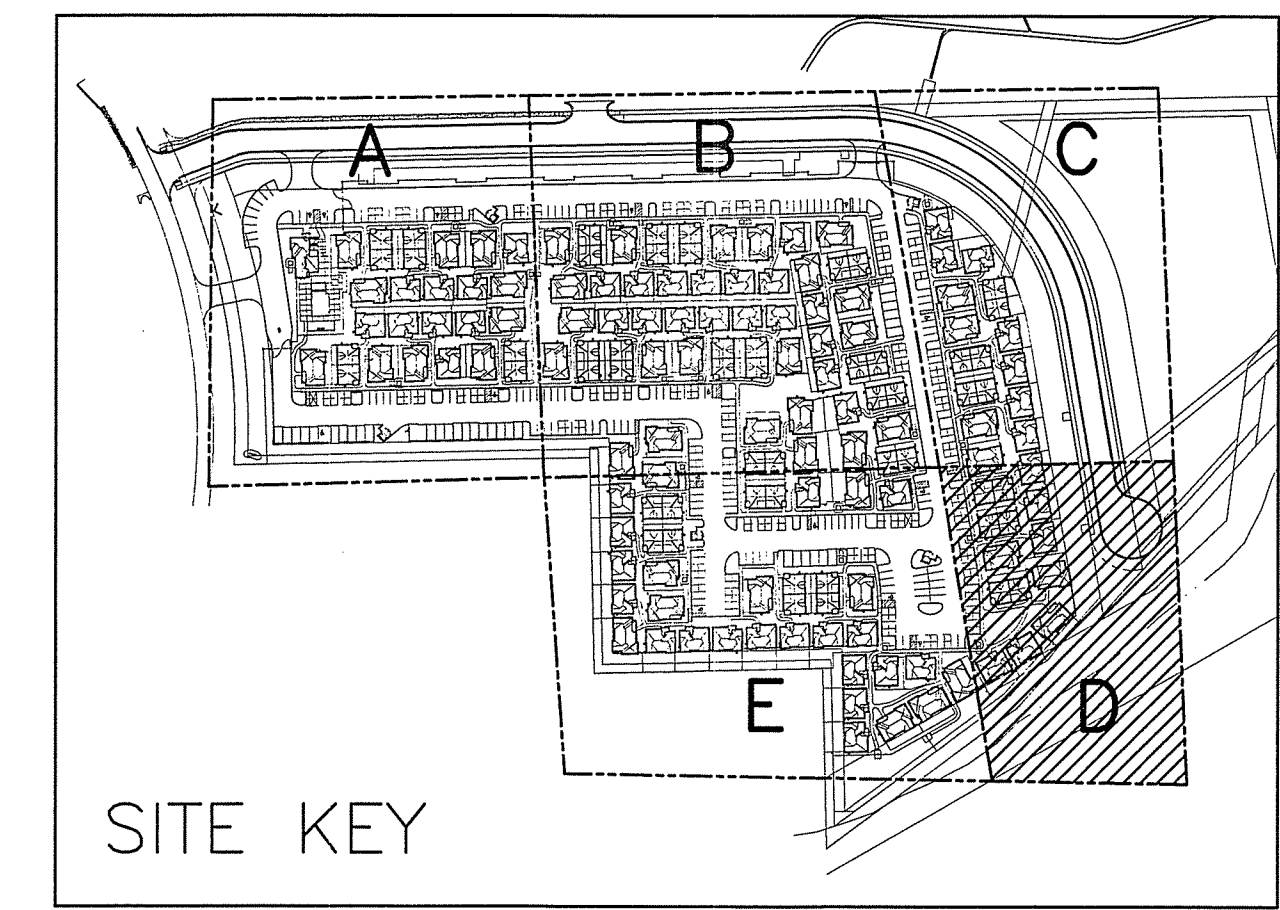


1 SITE DETAIL C
1"=20'-0"

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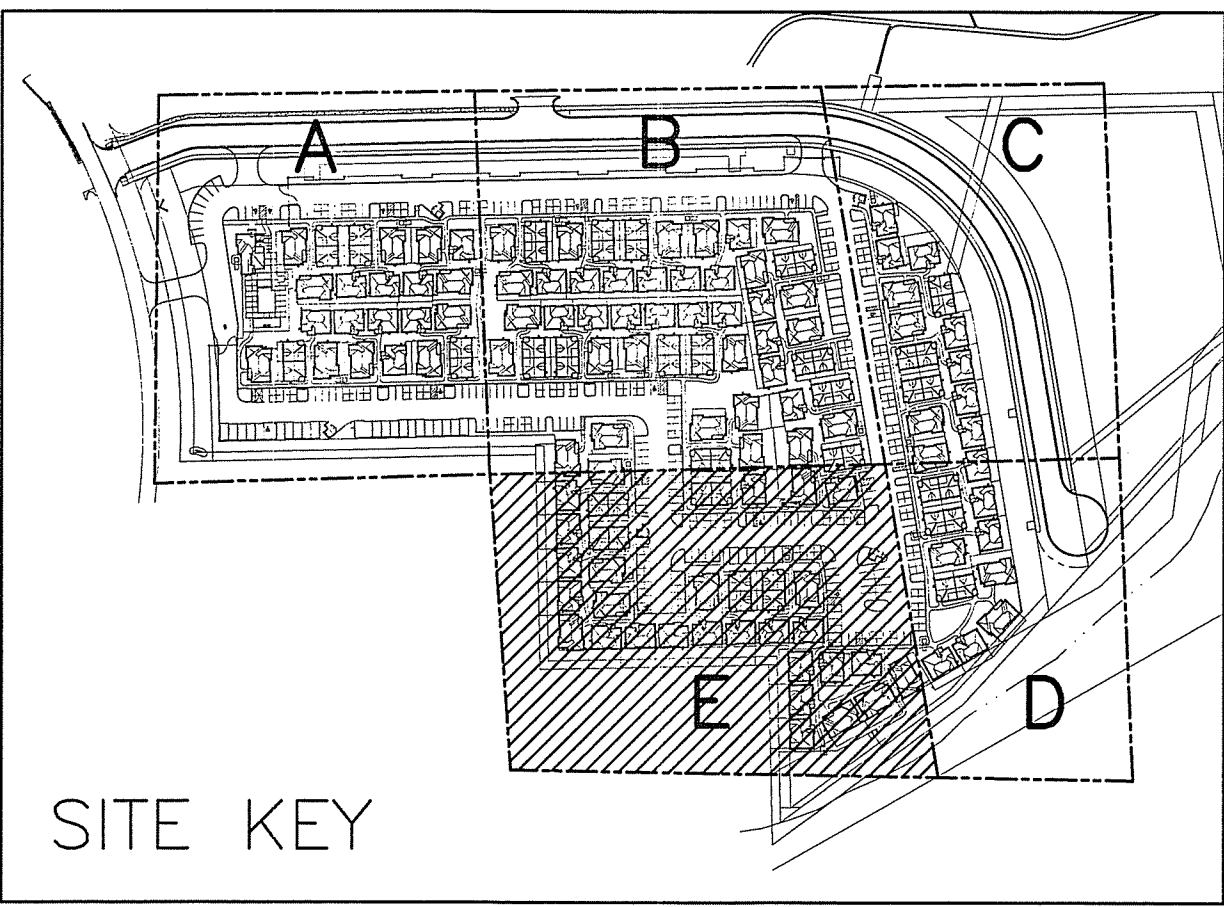
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 Parker Associates Tulsa, LLC 2202 E. 49th St., #200, Tulsa, OK 74105 (918)-742-2485	 TULSA PROPERTY GROUP 1209 S. Frankfort Ave., Suite #302 Tulsa, OK 74120 (918)-900-6246
BRYAN HULST - ARCHITECT OF RECORD OKLAHOMA LICENSE # 5009	JOB NUMBER: 219029 DRAWN BY: BH,TA DATE: 10/30/2020 1-REV: 11-25-20
	SITE DETAIL D SHEET NUMBER S5 OF 6

1 SITE DETAIL D
 1"=20'-0"

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SITE DETAIL E

SHEET NUMBER **S6** OF 6

1 SITE DETAIL E
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