

City of Broken Arrow

P.O. Box 610
Broken Arrow, Oklahoma 74013

Phone: (918) 259-8412
FAX: (918) 251-6642

PLANNING DEPARTMENT



February 20, 2001

Terence L. Haynes, P.E.
Spear & McCaleb Co., Inc.
815 West Main Street
Oklahoma City, OK 73106

Subject: PUD 126

Dear Terry:

The Broken Arrow City Council, in their meeting of February 19, 2001, reviewed and approved Planned Unit Development (PUD) 126, Waterloo Way, located on the northwest corner of Elm Place and Tucson Street. PUD 126 was approved as submitted, subject to the property being platted, and the following conditions and amendments:

1. Rewrite 7.2.6 as follows:

Buildings, structures and paved areas for Lots 5 and 6 shall setback from street frontages as follows:

- a. Buildings, structures, parking spaces, drives, paved areas and trash receptacles shall setback at least 25 feet from Elm Place. (Zoning Code requires 50' B.L.) Minimum 25 feet width landscaping on Elm Place.
 - b. Building and structures shall be permitted no less than 25 feet from the frontage road right-of-way. However, drives may be permitted no less than 15 feet from the frontage road right-of-way. Minimum 15 foot width landscaping on frontage road.
2. Add the following to the second bullet in Section 7.2.7, "... internal circulation drives, measured from the property line adjacent to the internal drive."
3. Rewrite Section 7.3.3 as follows, "Landscape parking lot islands shall be provided as shown in Exhibits B and C. With the approval of the Planning Commission, minor adjustments may be made when the final site plan is submitted."
4. Section 7.4.2, change sign height limitation from 35 feet to 25 feet. (This is an item the applicant agreed to after the Planning Commission hearing.)

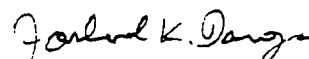
5. Section 7.4.6; rewrite as follows, "A free standing sign shall be setback at least 18 feet from the property line adjacent to a private internal circulation drive. The sign setback requirement for collector streets shall not apply to the private internal circulation drive." (However, setbacks shall apply to signs adjacent to frontage/public road for signs on Lots 5 and 6.)
6. Section 7.4.8; rewrite as follows, "Wall signs for Lot 1 shall be as shown in Exhibit D. Total wall signage for Lot 1 may be greater than 150 square feet, but shall not exceed 2,100 square feet." (2,100 square feet is total aggregate area of all wall signs.)
7. Section 7.4.9, rewrite as follows, "Total wall signage for Lot 2 may be greater than 150 square feet, but shall not exceed 2,100 square feet, calculated at a rate of 3 square feet of signage for every 1 lineal foot of front building wall." (2,100 square feet is total aggregate area of all wall signs.)
8. Rewrite Section 7.7.1 as follows, "Required parking for lots within Waterloo Way PUD, except Lot 1 and Lot 2, shall be provided as required by ordinance, except as follows:" (As submitted.)
9. Correct numbering in Section 7.7.
10. Add the following to Section 7.4:

The monument base or two-column support signs for Lots 1 and 2 shall have a planter box as shown in exhibit submitted to Planning Commission on January 25, 2001.

11. A directional sign 14 foot high at the northwest corner of the property for the automotive service center will be allowed, as presented to the Planning Commission on January 25, 2001.
12. Provide at least three copies of a "revised final" PUD document, incorporating above changes as approved by the City Council, prior to final plat.

Action taken by the City Council will be recorded in the minutes of their meeting of February 19, 2001. If you have any questions, please contact me.

Sincerely,



Farhad K. Daroga
Planning Director

FKD/js

cc: Justin Cook, City Engineer
Allen Stanton, Chief Building Inspector

1-12-00

PLANNED UNIT DEVELOPMENT

PUD-126

Waterloo Way

BROKEN ARROW, OKLAHOMA

Prepared By:

Williams, Box, Forshee & Bullard, P.C.

522 Colcord Drive

Oklahoma City, OK 73102

(405) 232-0080

Spear & McCaleb Co. Inc.

815 West Main

Oklahoma City, OK 73106

(405) 232-7715

TABLE OF CONTENTS
PLANNED UNIT DEVELOPMENT
Waterloo Way

1.0	INTRODUCTION	1
2.0	LEGAL DESCRIPTION	1
3.0	THE DEVELOPER	1
4.0	SITE AND SURROUNDING AREA.....	1
5.0	CONCEPT	2
6.0	SERVICE AVAILABILITY	2
7.0	SPECIAL DEVELOPMENT REGULATIONS	2
	Use regulations	
	Lot design	
	Landscape and screening	
	Sign regulations	
	Lighting	
	Building restriction	
	Parking restriction	
	Detention	
	Access	
	General provisions	
8.0	EXHIBITS.....	9

1.0 INTRODUCTION

The Planned Unit Development of *Waterloo Way* consisting of approximately 43.88 acres, is located within the SE quarter of Section 34, T18N, R14E, Tulsa County, Oklahoma. The subject property is located west of Elm Place and north of Tucson Road. This Planned Unit Development contemplates a retail shopping center.

2.0 LEGAL DESCRIPTION

The legal description of the property comprising the Planned Unit Development of *Waterloo Way* is described in Exhibit "A", attached hereto and made a part of this Design Statement.

3.0 THE DEVELOPER

The developer of the Planned Unit Development is Wal-Mart Stores East, c/o Spear & McCaleb, 815 West Main, Oklahoma City, OK 73106.

4.0 SITE AND SURROUNDING DEVELOPMENT

4.1 ZONING The site is mostly vacant and zoned C-2 Planned Shopping Center District and C-3 Neighborhood Convenience Shopping District. Surrounding properties are developed as follows:

- West A-1 Agricultural
- North Turnpike under construction
- East R-2 Single Family Residential/ C-2 Planned Shopping Center District
- South A-1 Agricultural

5.0 CONCEPT

The concept for the Planned Unit Development of *Waterloo Way* is to provide for a shopping center with two anchor stores [a Wal-Mart Supercenter as one of the anchors] and outparcels for franchise commercial development. *Waterloo Way* will provide shared access drives, private drives for internal circulation, shared detention, and enhanced perimeter landscaping.

6.0 SERVICE AVAILABILITY

6.1 Streets

The site is bounded on the east by Elm Place, a major north-south arterial and on the south by Tucson Road, a half-section line road. To the north will be the frontage road for the south loop highway interchange.

6.2 Utilities

Adequate urban utility lines, including water and sewer are available for extension into this Planned Unit Development site. Proper coordination with the various utility companies will be made in conjunction with the development of this site.

7.0 SPECIAL DEVELOPMENT REGULATIONS

The following Special Development Regulations and/or limitations are placed upon the development of the Planned Unit Development of *Waterloo Way* : Planning and zoning regulations will be those which are in effect at the time of approval of this Planned Unit Development. Certain zoning districts are referred to as a part of the Special Development Regulations of this Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Broken Arrow's

Planning and Zoning Code as such exists on the day of enactment of the ordinance approving this Planned Unit Development by the City Council. In cases of conflict between the provisions of the City Codes and Regulations and the provisions of this Planned Unit Development, the provisions of this Planned Unit Development shall be deemed to supersede.

The regulations are as follows:

7.1 USE REGULATIONS - The following use and development regulations and/or limitations shall apply for the development of the Planned Unit Development of *Waterloo Way PUD*.

7.1.1 The use regulations and development regulations of the C-2 Planned Shopping Center District shall apply for the development of *Waterloo Way PUD* except as otherwise specified within this outline development plan.

7.2 LOT DESIGN

7.2.1 Minimum lot size shall be one-half acre. All lots shall have a minimum 100 foot frontage onto a public street or a private drive that provides access to a public street.

7.2.2 C-2 Planned Shopping Center District use and development regulations shall apply to all lots within this planned unit development, including lots that are smaller than 2.5 acres.

7.2.3 Shared access drives are permitted and encouraged.

7.2.4 Lot splits shall be permitted as long as (1) the resulting lots meet the minimum size of one-half acre (2) each lot has a minimum 100 foot frontage onto a public street or private drive that provides access to a public street and (3) no additional access point is created along Tucson or Elm Place.

7.2.5 Frontage on an internal circulation drive shall satisfy the minimum frontage requirement for a lot created by a lot split.

7.2.6 Building setback for Lots 5 and 6 shall be as follows:

- 25 foot building and parking setback along Elm Place
- 25 foot building setback along the frontage road
- 15 foot parking setback along the frontage road

7.2.7 Building setback for Lots 3 and 4 shall be as follows:

- 50 foot building setback along Elm Place and Tucson
- 30 foot building setback along internal circulation drives

7.3 LANDSCAPE & SCREENING

7.3.1 A landscaped edge shall be provided for Lot 1 and Lot 2 with minimum depth as shown on Exhibit C. Within the landscaped edge, one 2" caliper tree shall be planted for every 50 lineal feet of frontage, and 10 three gallon shrubs shall be planted for every 50 lineal feet of frontage.

7.3.2 For Lot 1 and Lot 2, one 2" caliper tree shall be planted for every 15 parking spaces. These trees shall be located within the perimeter landscape areas for Lot 1 and Lot 2.

7.3.3 Landscaped parking lot islands shall not be required within Lot 1 and Lot 2. Nonetheless, Lot 1 and Lot 2 shall meet the minimum landscape percentage (10%).

7.3.4 For all other lots within *Waterloo Way*, the landscaped edge and interior landscape shall be as required by the landscaping ordinance, except as provided herein.

7.3.5 Sight-proof screening shall not be required along the west boundary.

7.3.6 Ten percent landscaping shall be provided for each development parcel. The amount of landscape area and the amount of land area shall be calculated and shown on the site plan submitted for each development parcel.

7.3.7 Where possible existing trees shall be relocated. For each tree (4" caliper or larger) preserved by relocation within *Waterloo Way PUD*, the developer shall be given credit for two trees required by ordinance. Credit for tree relocation shall apply to all lots within *Waterloo Way PUD*. The relocated tree must be located within a required landscape area within *Waterloo Way PUD*.

7.4 SIGN REGULATIONS

7.4.1 Signage shall comply with the C-2 regulations except as otherwise specified herein.

7.4.2 A business located on Lot 1 shall have a maximum of two free standing signs as follows:

- (1) setback from centerline of frontage road a minimum of 90 feet; 35' maximum height; 165 sq. ft. maximum size
- (2) setback from centerline of Elm Place a minimum of 120 feet; 25' maximum height; 150 sq. ft. maximum size; minimum 50' setback from centerline of frontage road

Lot 1 free standing signs shall have two-column support of uniform color and/or design.

7.4.3 A business located on Lot 2 shall have a maximum of two free standing signs as follows:

- (1) setback from centerline of Elm Place a minimum of 120 feet; 25' maximum height; 150 sq. ft. maximum size
- (2) setback from centerline of Tucson a minimum of 120 feet; 25' maximum height; 150 sq. ft maximum size

Lot 2 free standing signs shall have two-column support of uniform color and/or design.

7.4.4 The free standing sign along Elm Place for Lot 1 shall be located within the north half of the reserve area as shown on the master development plan. The free standing sign along Elm Place for Lot 2 shall be located within the south half of the

reserve area as shown on the master development plan. The Lot 1 free standing sign and the Lot 2 free standing sign along Elm Place shall have a minimum separation of 330 feet.

7.4.5 A free standing sign located on a lot other than Lot 1 or Lot 2, shall be limited to a maximum height of 14 feet and a maximum size of 100 square feet. A free standing sign located on a lot other than Lot 1 or Lot 2 shall have a monument base or two-column support.

7.4.6 A free standing sign shall be setback a minimum of 15 feet from the edge of the private internal circulation drive. The sign setback requirement for collector streets shall not apply to the private internal circulation drive.

7.4.7 Additional free standing signs shall be allowed on lots created by lot splits. However, the total square footage of free standing signs is limited as follows:

- maximum of 500 sq. feet for area described by existing Lot 1
- maximum of 500 sq. feet for area described by existing Lot 2
- maximum of 150 sq. feet for area described by existing Lot 3
- maximum of 150 sq. feet for area described by existing Lot 4
- maximum of 150 sq. feet for area described by existing Lot 5
- maximum of 150 sq. feet for area described by existing Lot 6

7.4.7 No portable signs shall be allowed within *Waterloo Way PUD*. No sign shall be located in a utility easement.

7.4.8 Wall signs for Lot 1 shall be as shown on Exhibit D. Total wall signage for Lot 1 shall be greater than 150 square feet. Total wall signage for Lot 1 shall not exceed 2100 square feet.

7.4.9 Total wall signage for Lot 2 shall be greater than 150 square feet. Total wall signage for Lot 2 shall not exceed 2100 square feet, calculated at a rate of 3 square feet of signage for every 1 lineal foot of front building wall.

7.5 LIGHTING

7.5.1 All exterior lights shall be designed so that no light extends beyond the exterior boundary of *Waterloo Way PUD*.

7.5.2 Maximum light pole height shall be 42 feet on Lot 1 and Lot 2. On all other lots, maximum light pole height shall be 16 feet.

7.5.3 A lighting plan shall be submitted to and approved by the planning department prior to installation.

7.5.4 A light fixture on a canopy shall be designed so that the light fixture is not visible from any public street.

7.5.5 All exterior lighting shall be located outside all utility easements.

7.6 BUILDING RESTRICTIONS

7.6.1 Maximum building height shall be 40 feet.

7.6.2 The maximum 33% coverage limitation of the C-2 Planned Shopping Center District shall not apply to *Waterloo Way PUD*. The maximum coverage of any building on any parcel of land shall not exceed 40 per cent of the net lot area.

7.6.3 The bulk limitation (floor area ratio) of the C-2 Planned Shopping Center District shall not apply to *Waterloo Way PUD*. There shall be a minimum of 2000 square feet of open space provided for every 1000 square feet of floor space, or fraction thereof at a ratio of 2 feet of open space for every 1 foot of floor space.

7.7 PARKING RESTRICTIONS

7.7.2 Parking for Lot 1 and Lot 2 shall be as required by ordinance.

7.3.7 Where possible existing trees shall be relocated. For each tree (4" caliper or larger) preserved by relocation within *Waterloo Way PUD*, the developer shall be given credit for two trees required by ordinance. Credit for tree relocation shall apply to all lots within *Waterloo Way PUD*. The relocated tree must be located within a required landscape area within *Waterloo Way PUD*.

7.4 SIGN REGULATIONS

7.4.1 Signage shall comply with the C-2 regulations except as otherwise specified herein.

7.4.2 A business located on Lot 1 shall have a maximum of two free standing signs as follows:

- (1) setback from centerline of frontage road a minimum of 90 feet; 35' maximum height; 165 sq. ft. maximum size
- (2) setback from centerline of Elm Place a minimum of 120 feet; 25' maximum height; 150 sq. ft. maximum size; minimum 50' setback from centerline of frontage road

Lot 1 free standing signs shall have two-column support of uniform color and/or design.

7.4.3 A business located on Lot 2 shall have a maximum of two free standing signs as follows:

- (1) setback from centerline of Elm Place a minimum of 120 feet; 25' maximum height; 150 sq. ft. maximum size
- (2) setback from centerline of Tucson a minimum of 120 feet; 25' maximum height; 150 sq. ft. maximum size

Lot 2 free standing signs shall have two-column support of uniform color and/or design.

7.4.4 The free standing sign along Elm Place for Lot 1 shall be located within the north half of the reserve area as shown on the master development plan. The free standing sign along Elm Place for Lot 2 shall be located within the south half of the

7.7.1 Required parking for lots within *Waterloo Way PUD*, except Lot 1 and Lot 2, shall be as follows:

- 15 spaces per 1000 square feet for restaurant uses, or fraction thereof at a ratio of 3 spaces per additional 200 square feet
- 5 spaces per 1000 square feet for retail uses, or fraction thereof at a ratio of 1 space per additional 200 square feet

7.8 DETENTION

7.8.1 The reserve areas shall provide required detention for each lot within *Waterloo Way PUD*. The reserve areas shall include natural drainageway. Maintenance of the natural drainageway and reserve area shall be the responsibility of the owner(s) of Lot 1 and Lot 2.

7.9. ACCESS

7.9.1 Access to *Waterloo Way PUD* is as shown on the Master Development Plan and as further described:

7.9.2 There shall be a maximum of four access points from Tucson.

7.9.3 There shall be a maximum of three access points from Elm Place.

7.9.4 Access points on the south and west side of the frontage road shall be spaced at least 220 feet apart, centerline to centerline. Access points on the north side of the frontage road shall either align with the access points on the south and west side of the frontage road or the centerline of the access points shall be offset by 125 feet or more.

7.9.5 A lot created by a lot split shall have shared access from one or more access points listed above. A lot split shall not create an additional access point along Tucson, Elm Place or the frontage road.

7.9.6 Cross access shall be permitted between each lot. Internal access and circulation shall be permitted between each lot and interior private drives.

7.8.7 Maintenance of internal circulation drives shall be the responsibility of the owner(s) of Lot 1 and Lot 2.

7.10 GENERAL PROVISIONS

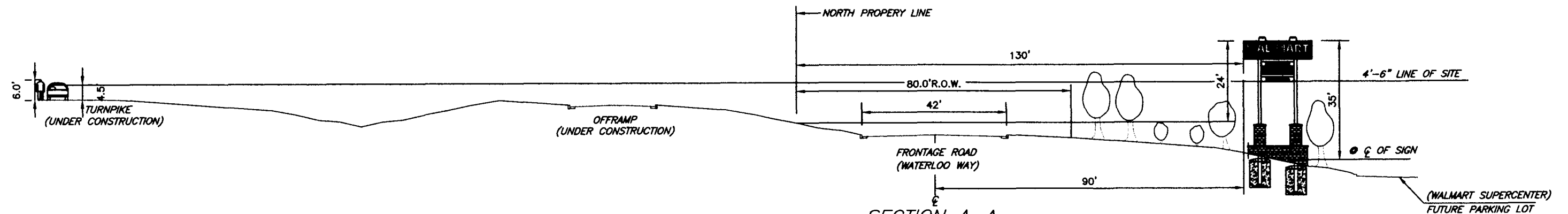
7.10.1 Developmental phasing shall be allowed as a part of the development of this Planned Unit Development.

7.10.2 Improvements shown on the site plan are conceptual only. Final design will be determined at building permit stage.

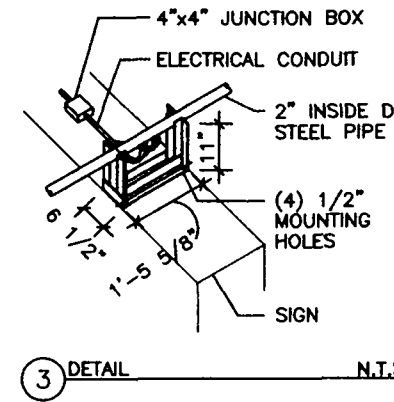
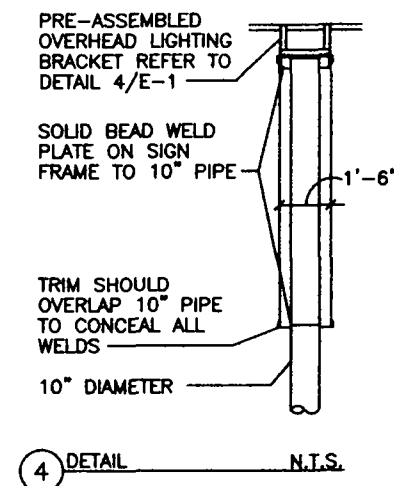
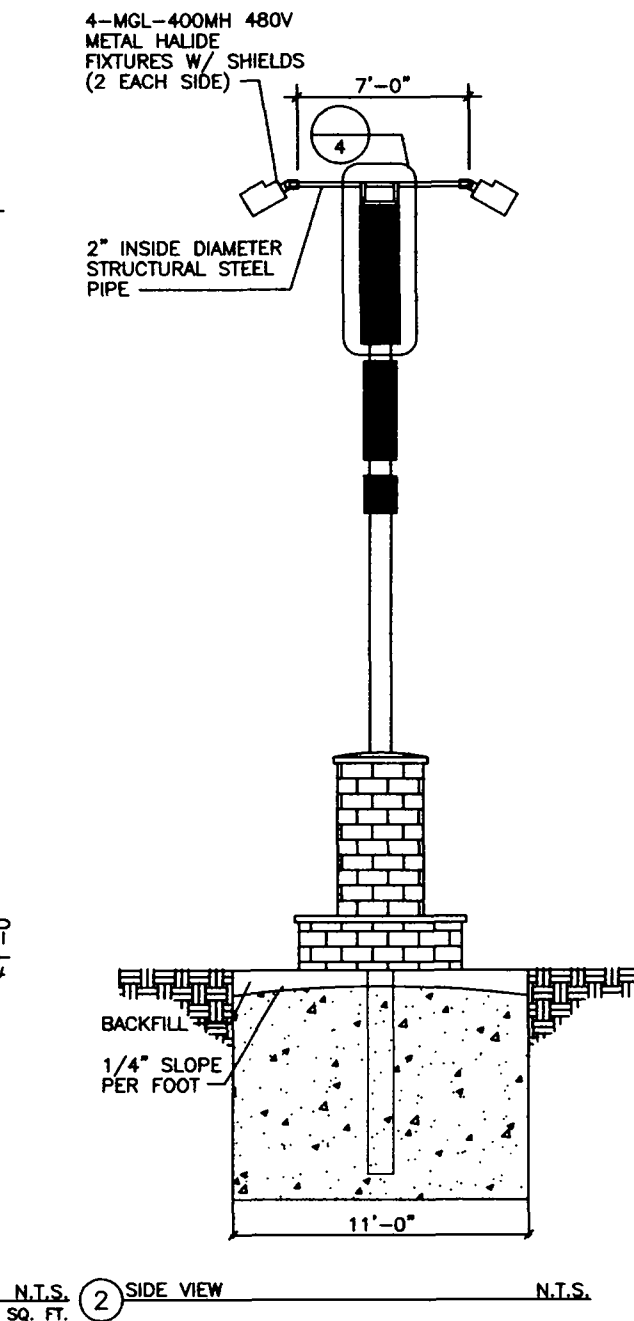
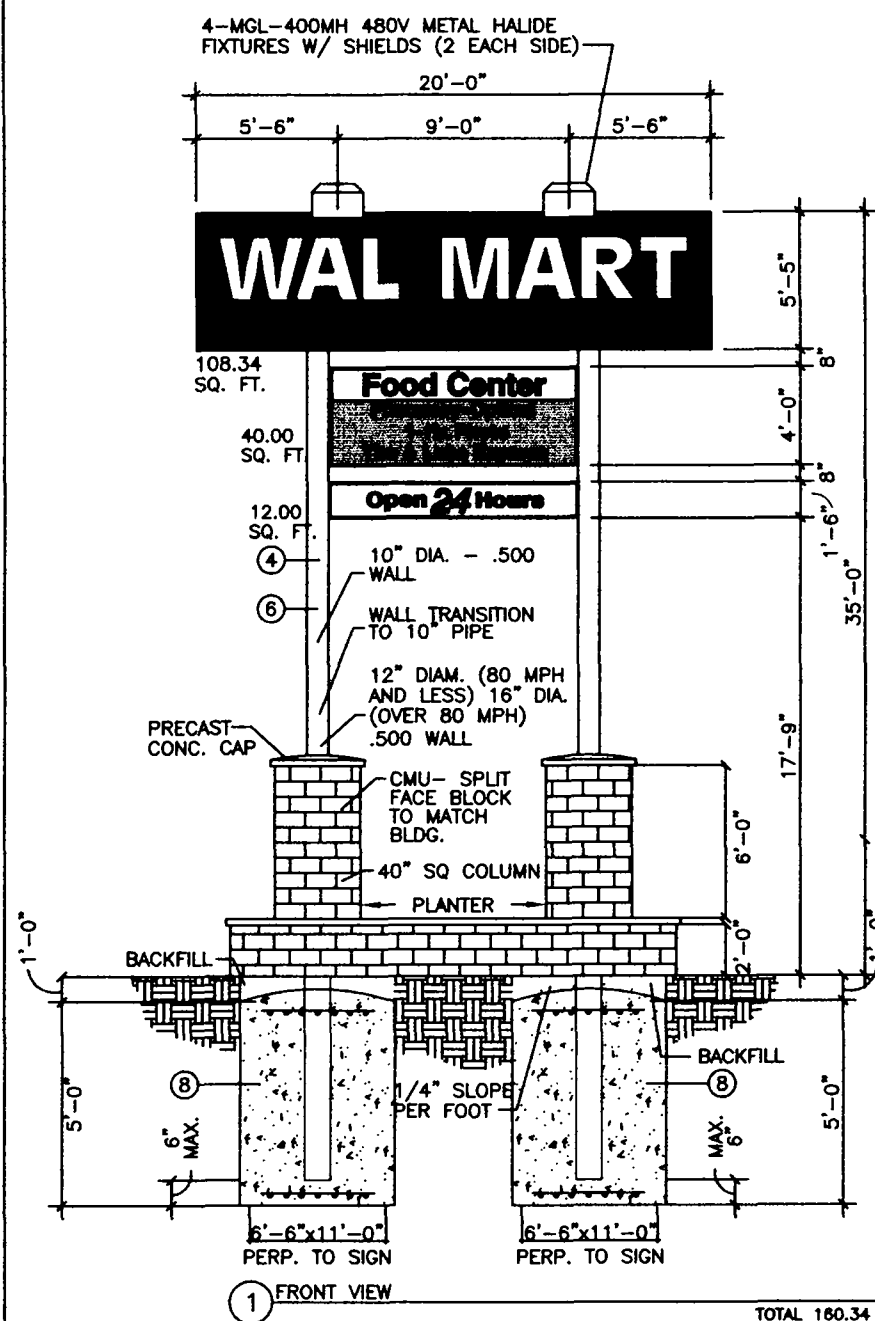
8.0 EXHIBITS

The following exhibits are hereby attached hereto and made a part of this Planned Unit Development of *Waterloo Way*. The exhibits are as follows:

EXHIBIT A	LEGAL DESCRIPTION
EXHIBIT B	MASTER DEVELOPMENT PLAN
EXHIBIT C	LANDSCAPE PLAN FOR LOT 1 AND LOT 2
EXHIBIT D	SIGNAGE FOR LOT 1
EXHIBIT E	TOPOGRAPHY MAP



SECTION A-A
REF: MASTER DEVELOPMENT PLAN



- KEY NOTES:**
- SHALL BE WHITE PRE-PAINTED ALUMINUM OR WHITE VINYL LETTERS, ANTIQUE OLIVE BOLD LETTER STYLE.
 - SHALL BE BLUE (MATCH SHERWIN WILLIAMS #1504) PRE-PAINTED ALUMINUM.
 - SHALL BE YELLOW PRE-PAINTED ALUMINUM OR YELLOW VINYL LETTERS, HELVETICA LETTER STYLE WITH 15' SLANT, FORCED @ 70%, 2 EACH.
 - SIGN SUPPORT SHOULD BE PAINTED SHERWIN WILLIAMS #1504.
 - SHALL BE PAINTED RED (MATCH SHERWIN WILLIAMS #1602 THEATER RED).
 - COLUMN STEEL: ASTM A501 (FY=36KSI) OR ASTM A53 TYPE E OR S, GRADE B (FY=35KSI).
 - SHALL BE WHITE VINYL LETTERS, HELVETICA MEDIUM LETTER STYLE.
 - CONCRETE STRENGTH F'C= 3000PSI @ 28 DAYS.

- CONTRACTORS' DUTIES:**
- CONTRACTOR MUST REMOVE ALL EXCESS DIRT.
 - BACKFILL OVER CONCRETE FOOTINGS.
 - CONTRACTOR SHALL PAINT POLES AND ANY ATTACHED HARDWARE, CONDUIT, ELECTRICAL BOXES, ETC. MATCH SHERWIN WILLIAMS #1504 BLUE.
 - NOTIFY WAL-MART SIGN SHOP BEFORE EXCAVATING ANY PLANNED LANDSCAPED AREA.
 - CLEAN UP ALL DEBRIS.
 - CLEAN FACE AND RETURN OF ALL SIGNS AFTER COMPLETED INSTALLATION.

- LIGHTING NOTES:**
- MOUNT LIGHT FIXTURES AT 60" PER BRACKET MARKS.
 - SUPPORT PIPE: 2" INSIDE DIAMETER, 7'-0" LONG.
 - SUPPORT BRACKET TO BE 2"x2"x1/8" ANGLES CENTERED ON PIPE, RE: #2.
 - DRILL 11/32" DIA MOUNTING HOLES 1" FROM EACH END, CENTERED ON ANGLE.
 - ROUTE POWER UP THROUGH POLE, INTO 2" PIPE AND TO FIXTURES AT EACH END.
 - PAINT FIXTURE ASSEMBLY, INCLUDING CONDUIT, BLUE.
 - HARDWARE FOUND IN J-BOX:

(8) SELF-TAPPING BOLTS	(6) 3/4" DRILL SCREWS
(8) SS FLAT WASHERS	(2) TWO HOLE STRAPS
(3) BLUE WIRE NUTS	(1) 3/4" CHASE NIPPLE

ENGINEERING NOTE:
DESIGN IS BASED ON REQUIREMENTS OF ASCE-7 AND UBC CRITERIA USING A53 STEEL PIPE AND CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

SIGN PLACEMENT DETAIL		
WAL-MART SUPERCENTER #3295		
TUCSON STREET & ELM PLACE. BROKEN ARROW, OKLAHOMA		
SPEAR & McCALEB CO., INC.		SMC
OKLAHOMA CITY, OKLAHOMA		
DATE: 01/12/01	SCALE: N.T.S.	SHEET NO.
DRAWN BY: TJ		
ENGINEER: TERENCE L. HAYNES P.E. #16820		

SMC CO., INC. CERTIFICATE OF
AUTHORIZATION NO. CA. 464 EXP 6/30/2001

NOTE: DRAWINGS ON SHEET NOT TO SCALE.

EXHIBIT "A"

LEGAL DESCRIPTION

BROKEN ARROW OVERALL

November 10, 2000

A tract of land lying in the Southeast Quarter (SE/4) of Section Thirty-four (34), Township Eighteen (18) North, Range Fourteen (14) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the Recorded Plat thereof and more particularly described as follows:

BEGINNING at the Southeast Corner of said Southeast Quarter (SE/4);
THENCE South 88°36'59" West, along the south line of said Southeast Quarter (SE/4), a distance of 1319.83 feet.

THENCE North 01°19'44" West, along said west line, a distance of 1764.41 feet to a point on the Southerly right of way line of the Turnpike Authority;

THENCE South 86°39'15" East, along said Southerly line, a distance of 815.86 feet;

THENCE North 89°09'29" East, continuing along said Southerly line, a distance of 222.91 feet;

THENCE South 05°44'04" East, parallel with the Westerly right of way line of Elm Place, a distance of 84.44 feet to a point of curvature;

THENCE along a non-tangent curve to the right having a radius of 179.09 feet (said curve subtended by a chord which bears South 22°25'22" East a distance of 80.09 feet) an arc distance of 80.77 feet;

THENCE South 09°54'41" East a distance of 64.08 feet;

THENCE North 89°14'07" East a distance of 180.72 feet to a point on the Westerly right of way line of Elm Place;

THENCE South 05°44'04" East, along said Westerly right of way line, a distance of 367.50 feet;

THENCE South 01°19'44" East, parallel with the east line of said Southeast Quarter a distance of 222.73 (RECORD) 224.32 (MEASURED);

THENCE North 88°36'59" East, a distance of 29.97 feet to a point lying on the East line of said Southeast Quarter (SE/4).

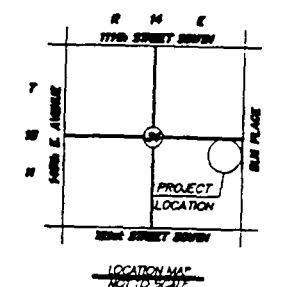
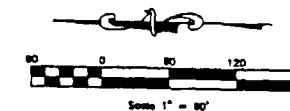
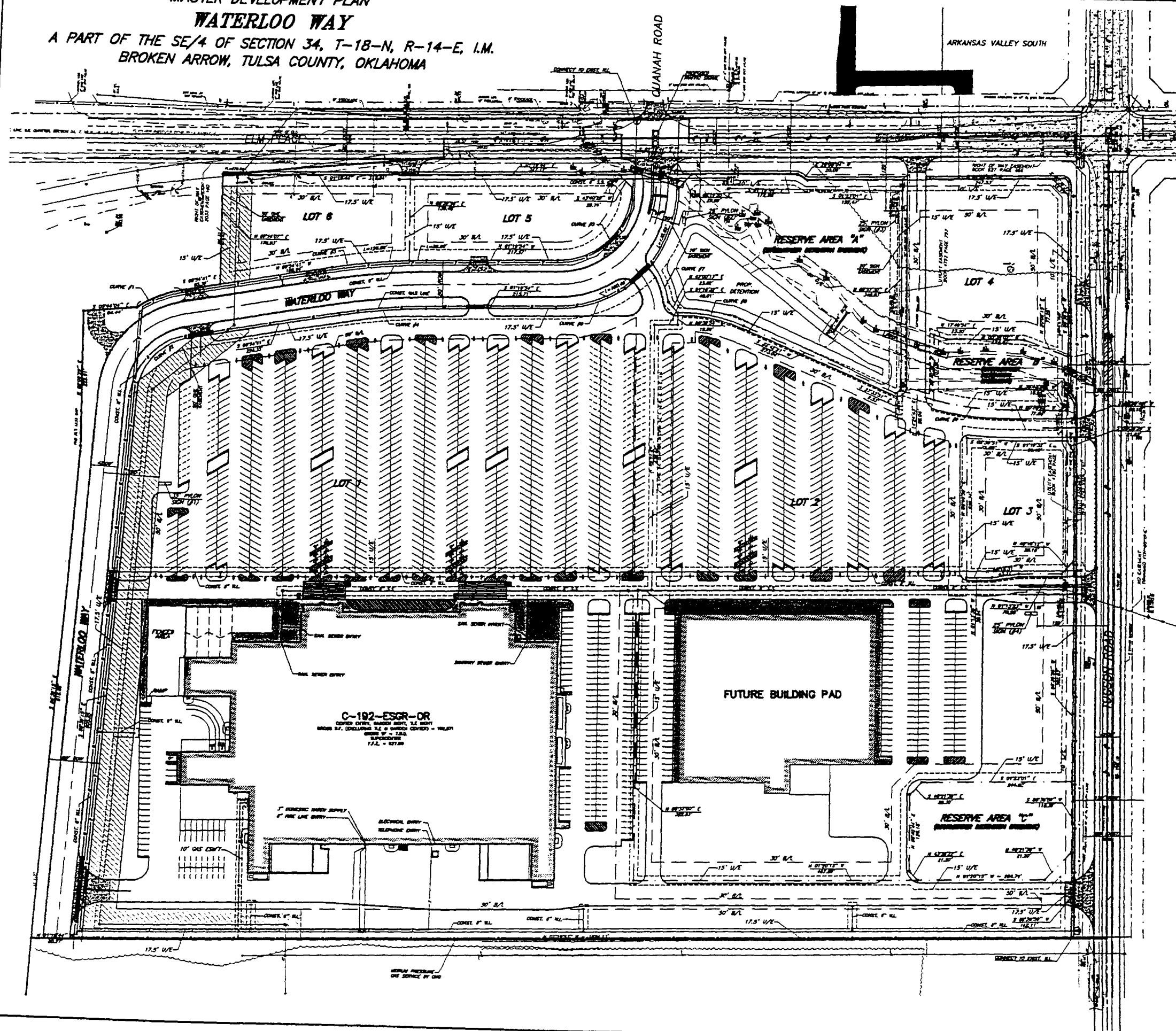
THENCE South 01°19'44" East, along the east line of said Southeast Quarter a distance of 880.00 feet to the POINT OF BEGINNING.

Said tract contains 2,184,808 square feet or 50.1563 acres more or less.

EXHIBIT "B"

MASTER DEVELOPMENT PLAN

MASTER DEVELOPMENT PLAN
WATERLOO WAY
 A PART OF THE SE/4 OF SECTION 34, T-18-N, R-14-E, I.M.
 BROKEN ARROW, TULSA COUNTY, OKLAHOMA



LOT SUMMARY

LOT #1	22.35 Ac.
LOT #2	11.78 Ac.
LOT #3	0.87 Ac.
LOT #4	1.78 Ac.
LOT #5	1.10 Ac.
LOT #6	1.12 Ac.
RESERVE A	2.45 Ac.
RESERVE B	0.54 Ac.
RESERVE C	0.95 Ac.
TOTAL	42.94 Ac.

DEVELOPER
 WAL-MART STORES, INC.
 2001 SOUTHEAST 10TH ST.
 BENTONVILLE, ARKANSAS 72716

ENGINEER
 SPEAR AND McCALEB CO., INC.
 815 WEST MAIN
 OKLAHOMA CITY, OKLAHOMA 73106

SURVEYOR
 SMITH-ROBERTS AND ASSOCIATES
 25 SOUTH OKLAHOMA, SUITE 400
 OKLAHOMA CITY, OKLAHOMA 73104

PARKING SUMMARY
 LOT 1: 1,068 SPACES
 LOT 2: 602 SPACES

LOT #1
 CURVE #1 IS CENTER OF HORIZONTAL
 C. NOT SHOWN
 NEAR R/L PROP. CORNER
 ELEVATION 81.00

CURVE DATA

CURVE #1 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #2 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #3 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #4 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #5 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #6 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #7 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #8 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #9 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'	CURVE #10 R=257.00' RT. CB=57.27' E T=40.40' L=178.00' LC=78.81'
--	--	--	--	--	--	--	--	--	---

MASTER DEVELOPMENT PLAN

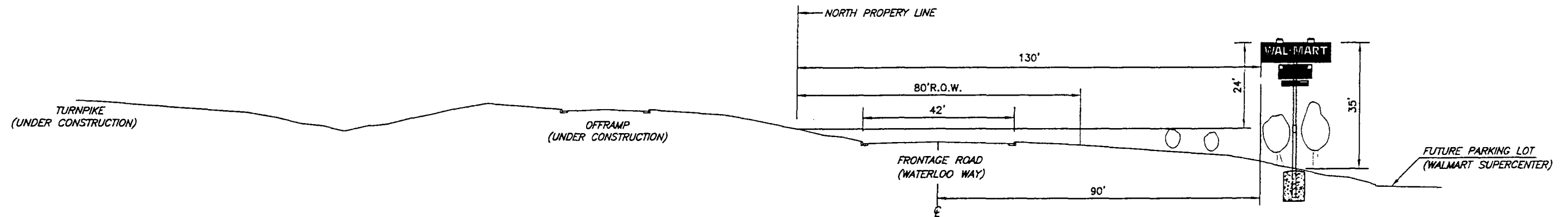
BLOCK 1, WATERLOO WAY	
TUCSON ROAD & ELM PLACE BROKEN ARROW, OKLAHOMA	
SPEAR & McCALEB CO., INC. OKLAHOMA CITY, OKLAHOMA	
DATE: 11/17/98	SCALE: 1" = 80'
DESIGNED BY: J.E.	CHECKED BY: J.E.
TERENCE L. ALPINE P.E. - 10520	
SHEET NO. 1	

EXHIBIT "C"

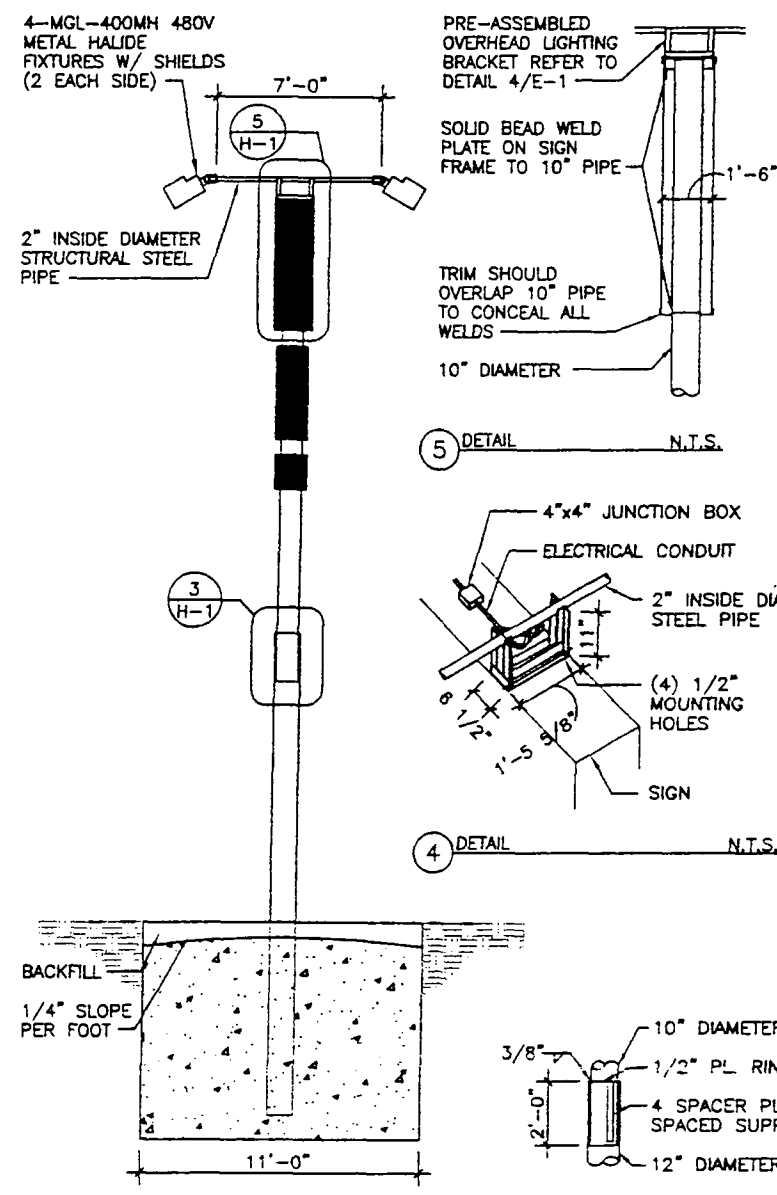
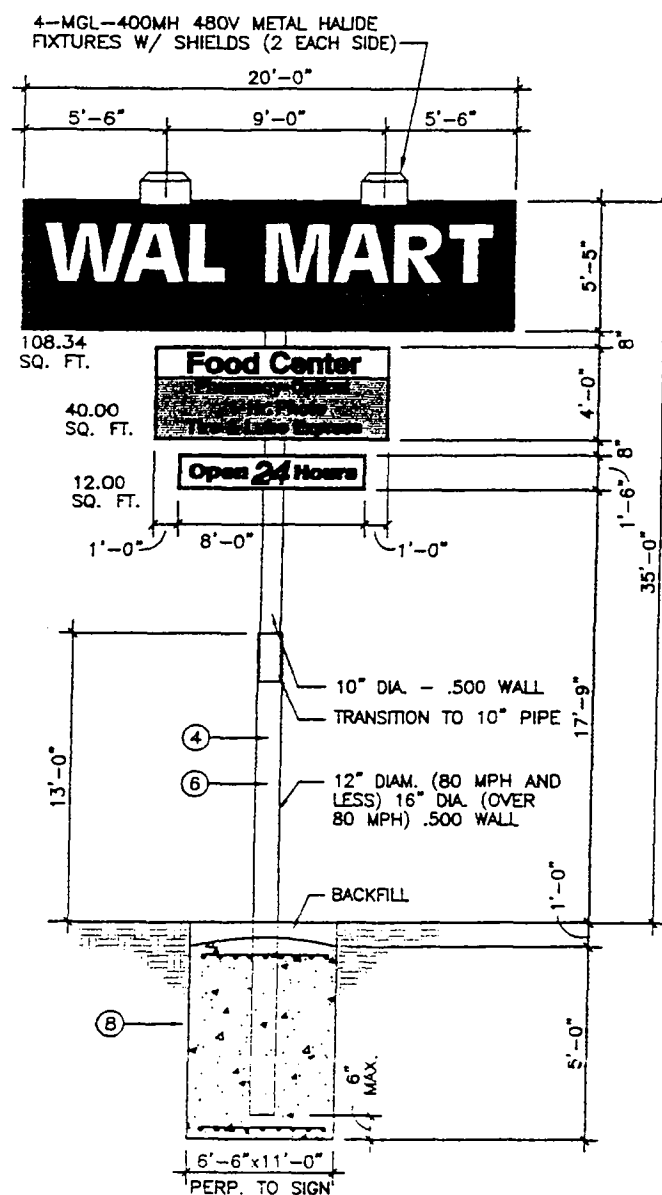
LANDSCAPE PLAN FOR LOT 1 AND LOT 2

EXHIBIT "D"

SIGNAGE FOR LOT 1



SECTION A-A REF: MASTER DEVELOPMENT PLAN



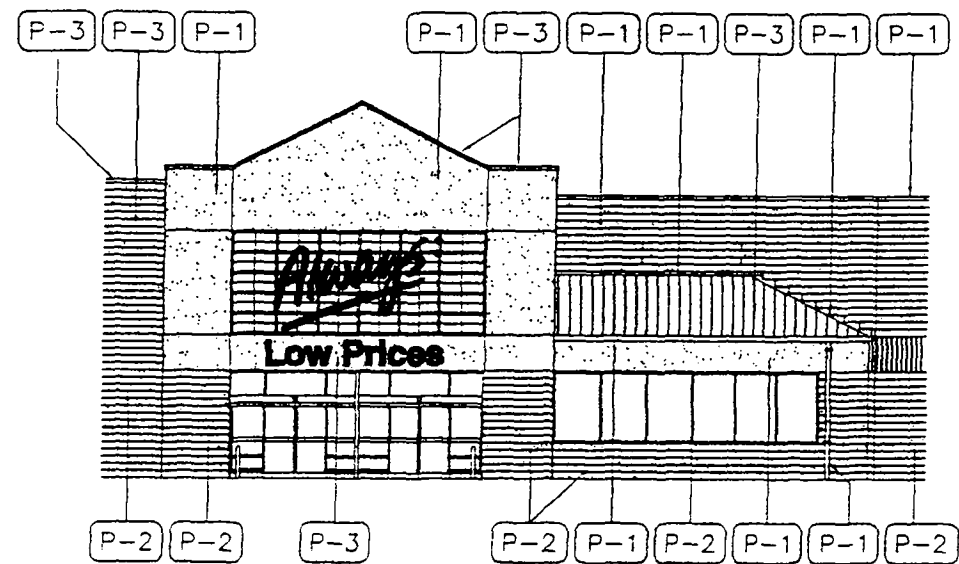
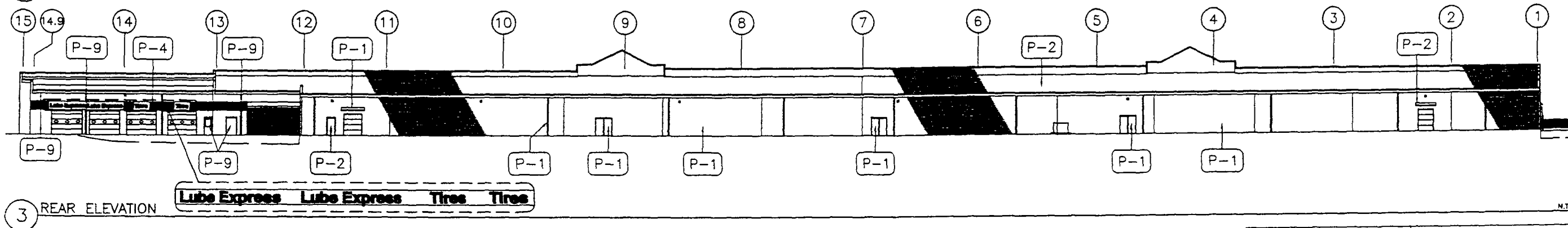
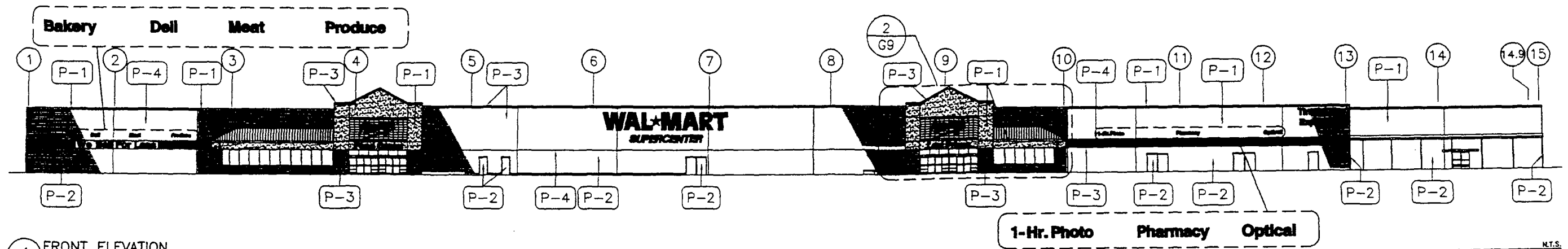
- KEY NOTES:**
- SHALL BE WHITE PRE-PAINTED ALUMINUM OR WHITE VINYL LETTERS, ANTIQUE OLIVE BOLD LETTER STYLE.
 - SHALL BE BLUE (MATCH SHERWIN WILLIAMS #1504) PRE-PAINTED ALUMINUM.
 - SHALL BE YELLOW PRE-PAINTED ALUMINUM OR YELLOW VINYL LETTERS, HELVETICA LETTER STYLE WITH 15° SLANT, FORCED 70%, 2 EACH.
 - SIGN SUPPORT SHOULD BE PAINTED SHERWIN WILLIAMS #1504.
 - SHALL BE PAINTED RED (MATCH SHERWIN WILLIAMS #1602 THEATER RED).
 - COLUMN STEEL: ASTM A501 (FY=36KSI) OR ASTM A53 TYPE E OR S, GRADE B (FY=35KSI).
 - SHALL BE WHITE VINYL LETTERS, HELVETICA MEDIUM LETTER STYLE.
 - CONCRETE STRENGTH FC= 3000PSI @ 28 DAYS.
- CONTRACTOR'S DUTIES:**
- CONTRACTOR MUST REMOVE ALL EXCESS DIRT.
 - BACKFILL OVER CONCRETE FOOTINGS.
 - CONTRACTOR SHALL PAINT POLES AND ANY ATTACHED HARDWARE, CONDUIT, ELECTRICAL BOXES, ETC. MATCH SHERWIN WILLIAMS #1504 BLUE.
 - NOTIFY WAL-MART SIGN SHOP BEFORE EXCAVATING ANY PLANNED LANDSCAPED AREA.
 - CLEAN UP ALL DEBRIS.
 - CLEAN FACE AND RETURN OF ALL SIGNS AFTER COMPLETED INSTALLATION.
- LIGHTING NOTES:**
- MOUNT LIGHT FIXTURES AT 60" PER BRACKET MARKS.
 - SUPPORT PIPE: 2" INSIDE DIAMETER, 7'-0" LONG.
 - SUPPORT BRACKET TO BE 2"x2"x1/8" ANGLES CENTERED ON PIPE. RE: #2.
 - DRILL 11/32" DIA MOUNTING HOLES 1" FROM EACH END, CENTERED ON ANGLE.
 - ROUTE POWER UP THROUGH POLE, INTO 2" PIPE AND TO FIXTURES AT EACH END.
 - PAINT FIXTURE ASSEMBLY, INCLUDING CONDUIT, BLUE.
 - HARDWARE FOUND IN J-BOX:

(8) SELF-TAPPING BOLTS	(8) 3/4" DRILL SCREWS
(8) SS FLAT WASHERS	(2) TWO HOLE STRAPS
(3) BLUE WIRE NUTS	(1) 3/4" CHASE NIPPLE
- ENGINEERING NOTE:**
DESIGN IS BASED ON REQUIREMENTS OF ASCE-7 AND UBC CRITERIA USING A53 STEEL PIPE AND CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

SIGN PLACEMENT DETAIL		
WAL-MART SUPERCENTER #3295		
TUCSON STREET & ELM PLACE. BROKEN ARROW, OKLAHOMA		
SPEAR & McCaleb CO., INC.		SMC
OKLAHOMA CITY, OKLAHOMA		
DATE: 01/12/01	SCALE:	SHEET NO.
DRAWN BY: TJ	N.T.S.	
ENGINEER: TERENCE L. HAYNES P.E. #16820		

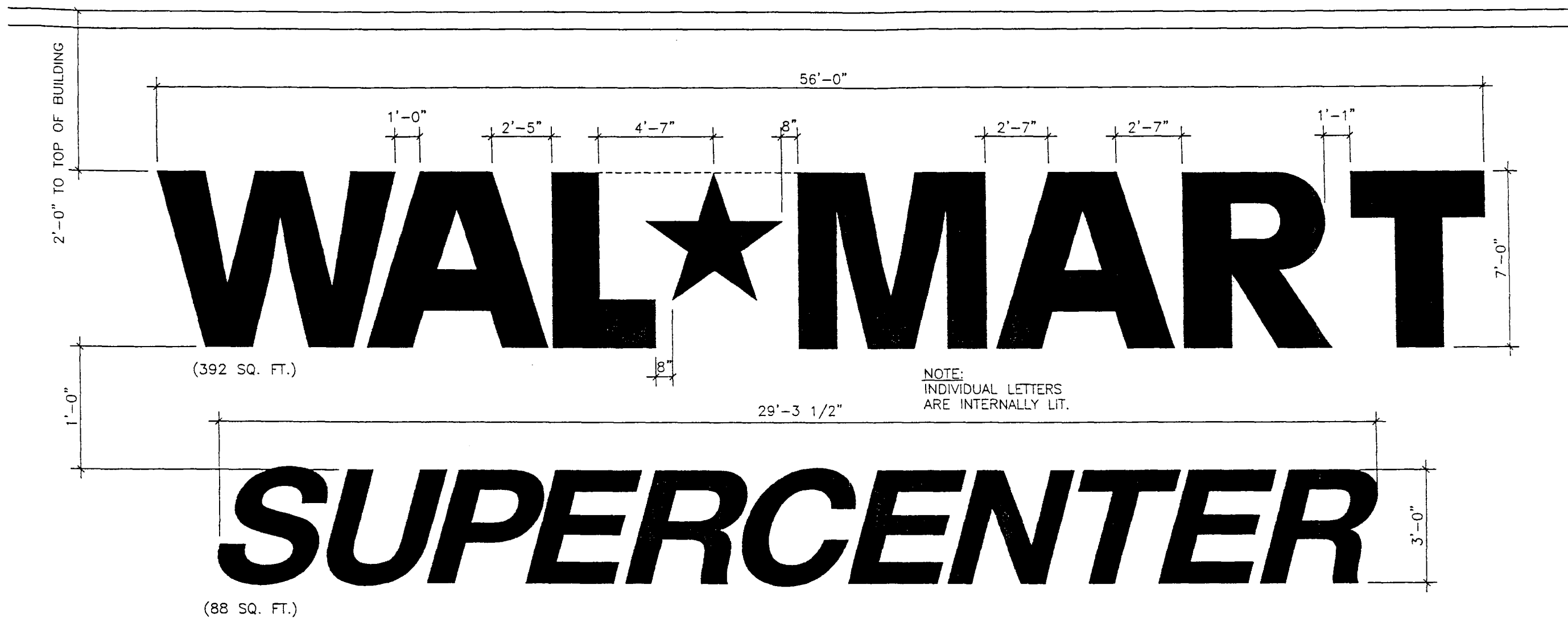
NOTE: DRAWINGS ON SHEET NOT TO SCALE.

SMC CO., INC. CERTIFICATE OF
AUTHORIZATION NO. CA. 464 EXP 6/30/2001



SHEET CROSS REFERENCE NUMBERS	COLOR SCHEDULE	
A-2	P-1	LIGHT GREY
B-1	P-2	DARK GREY
B-5	P-3	BLUE
D-1	P-4	RED
E-1	P-5	YELLOW
E-2	P-9	WHITE
E-3	P-10	GREEN
H-1		
GENERAL NOTES		
1. GALVANIZED STEEL CANOPY GUTTER-BEAM AND STEEL COLUMNS TO BE PAINTED.		
2. DOWNSPOUTS SHOWN FOR SIZE, GENERAL LOCATION AND QUANTITY ONLY.		
192-GR-OR		
WAL-MART		
REVISION DATE:		
09-15-00		
J-5		

NOTE: DRAWINGS ON SHEET NOT TO SCALE.



1 SPACING DIMENSIONS

N.T.S.

7'-0" WAL*MART LIT LETTERS W/ SUPERCENTER	
WAL*MART	
REVISION DATE: 09-15-00	
A-2	

NOTE: DRAWINGS ON SHEET NOT TO SCALE.

20'-2"
2'-6"
Food Center
30" CAPS 23 1/2" LOWER CASE

HELVETICA MEDIUM STUD MOUNT PLASTIC LETTERS

1 SPACING DIMENSIONS N.T.S.
(50.47 SQ. FT.)

6'-10"
2'-6"
Bakery
18" CAPS

(10.25 SQ. FT.)

3'-6 3/8"
2'-6"
Deli
14" LOWER CASE

(5.30 SQ. FT.)

4'-6 3/4"
2'-6"
Meat

(6.84 SQ. FT.)

7'-11"
2'-6"
Produce

(11.88 SQ. FT.)

2 SPACING DIMENSIONS N.T.S.
PATTERNS PROVIDED

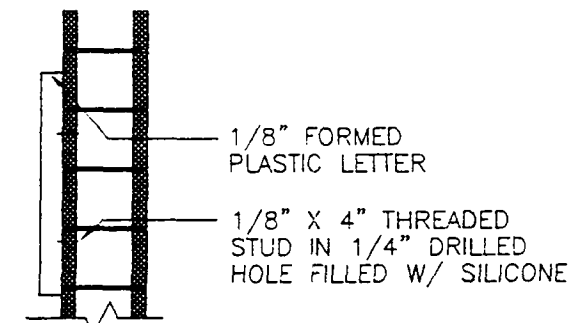
17'-9"
2'-6"
Low Prices
30" CAPS 23 1/2" LOWER CASE

3 SPACING DIMENSIONS N.T.S.
(44.38 SQ. FT.)

27'-3 1/2"
2'-6"
We Sell For Less
30" CAPS 23 1/2" LOWER CASE

HELVETICA MEDIUM STUD
MOUNT PLASTIC LETTERS

4 SPACING DIMENSIONS N.T.S.
(68.20 SQ. FT.)



LETTERS ON SMOOTH-FACE

5 SIGNAGE SECTION N.T.S.

29'-3 1/2"
SUPERCENTER
3'-0"

HELVETICA MEDIUM WITH 15° SLANT
STUD MOUNT PLASTIC LETTERS

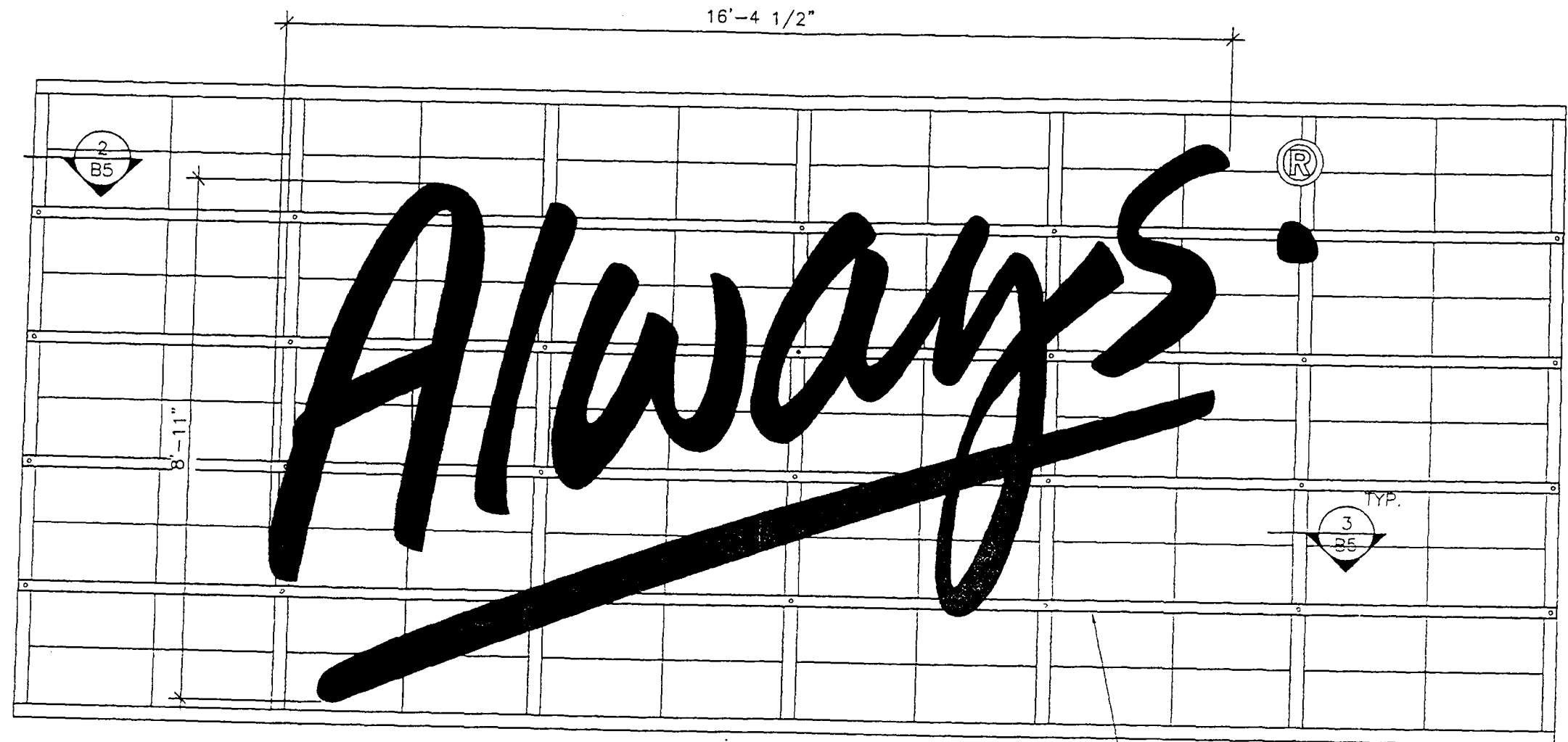
NOTE: SUPERCENTER STOREFONT
SIGNAGE ONLY

6 SPACING DIMENSIONS N.T.S.

NOTE: DRAWINGS ON SHEET NOT TO SCALE.

(87.90 SQ. FT. / 61 STUDS)

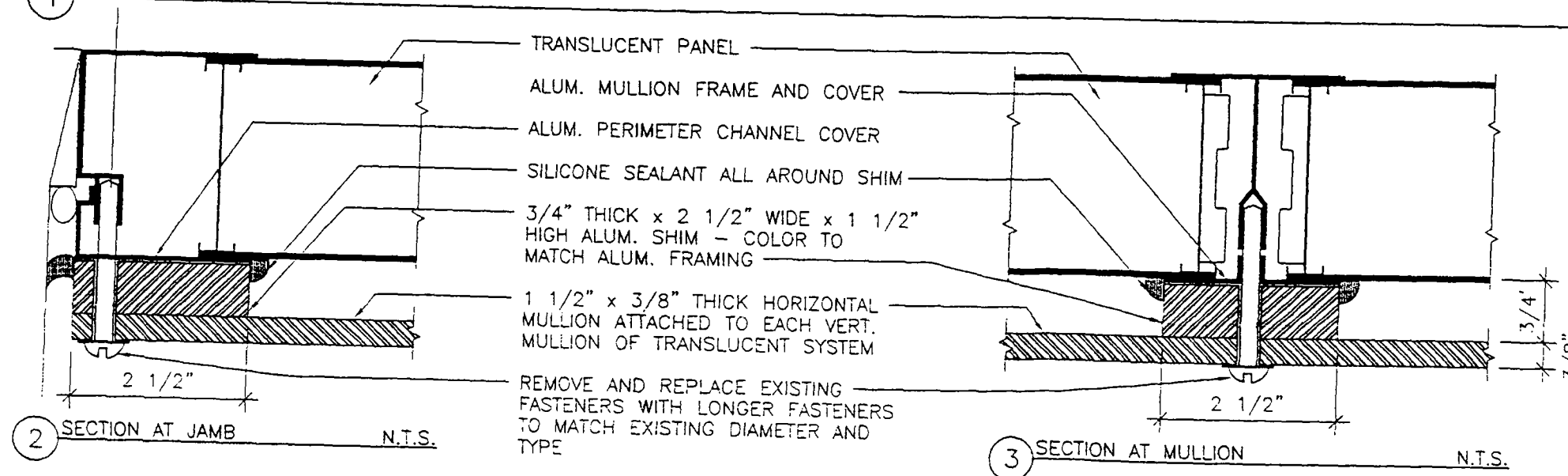
SUPERCENTER SIGNING	
WAL★MART	
REVISION DATE:	09-15-00
B-1	



1 1/2" x 3/8" THICK HORIZONTAL MULLION ATTACHED TO EACH VERTICAL MULLION OF TRANSLUCENT SYSTEM

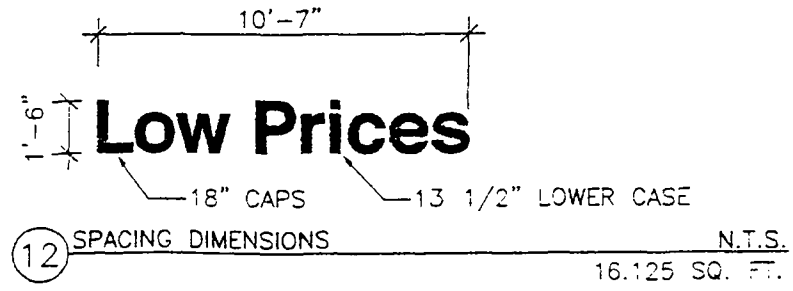
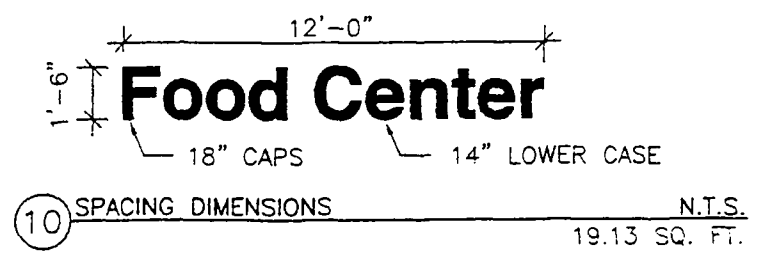
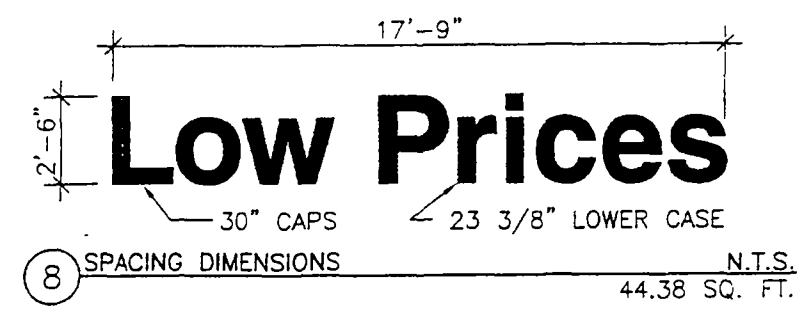
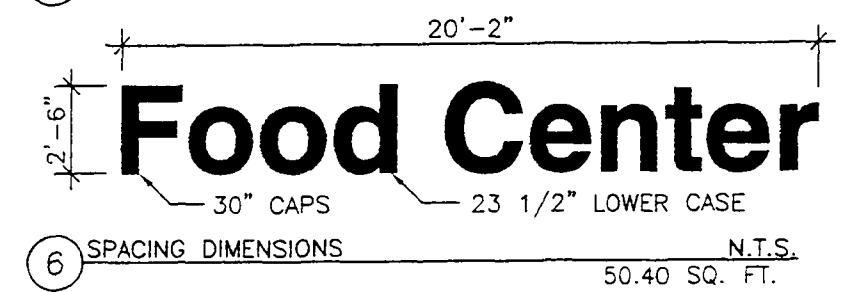
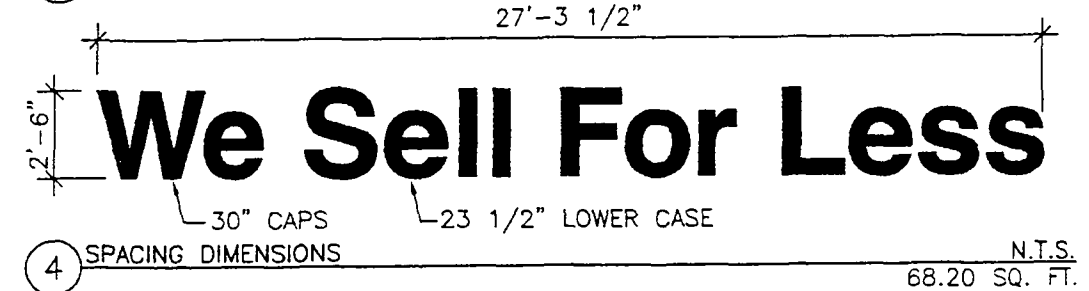
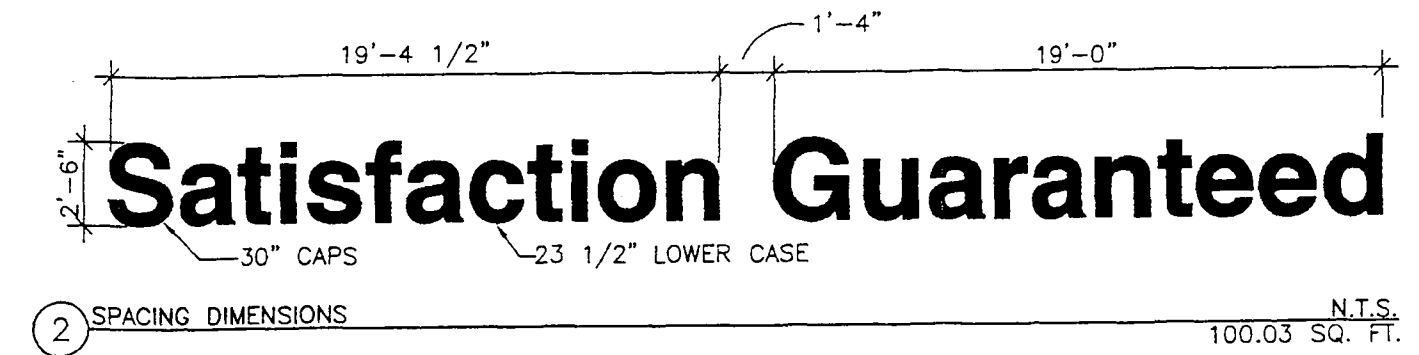
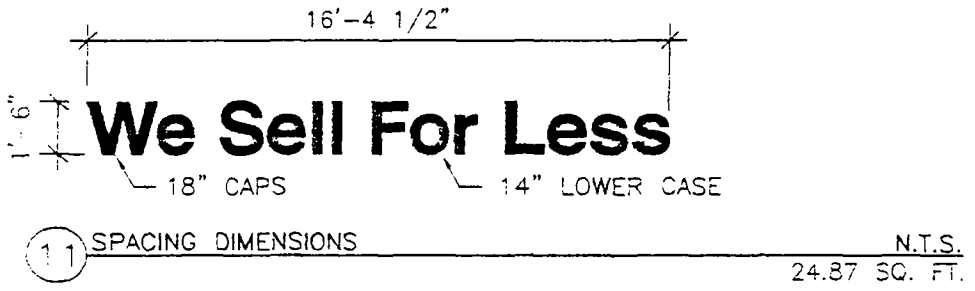
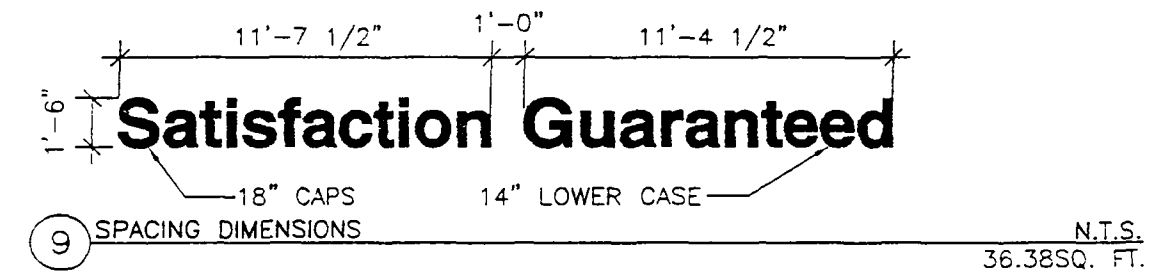
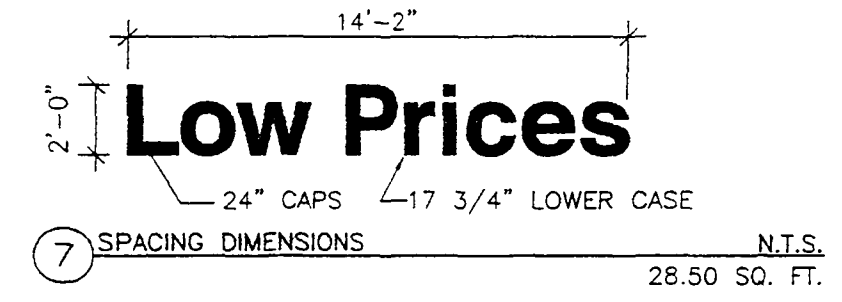
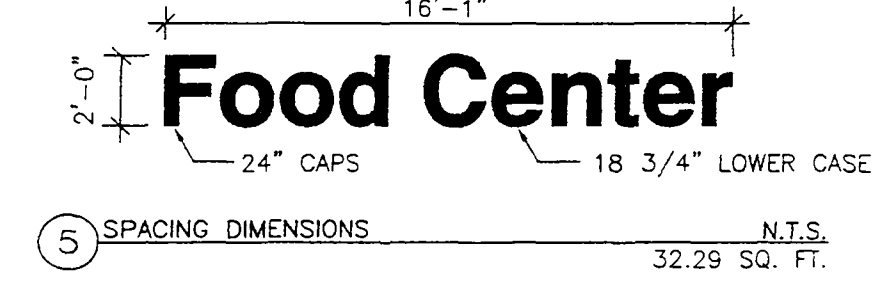
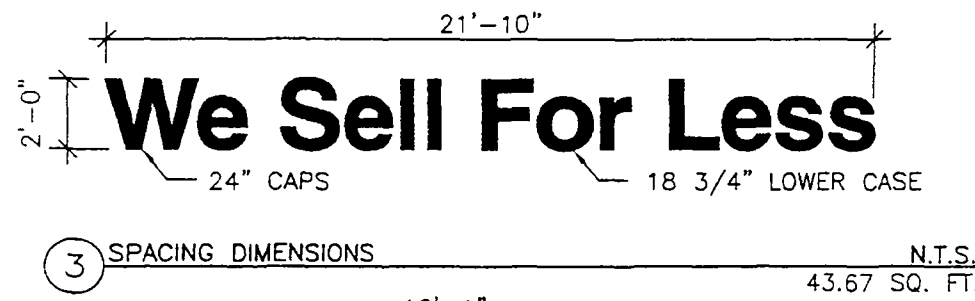
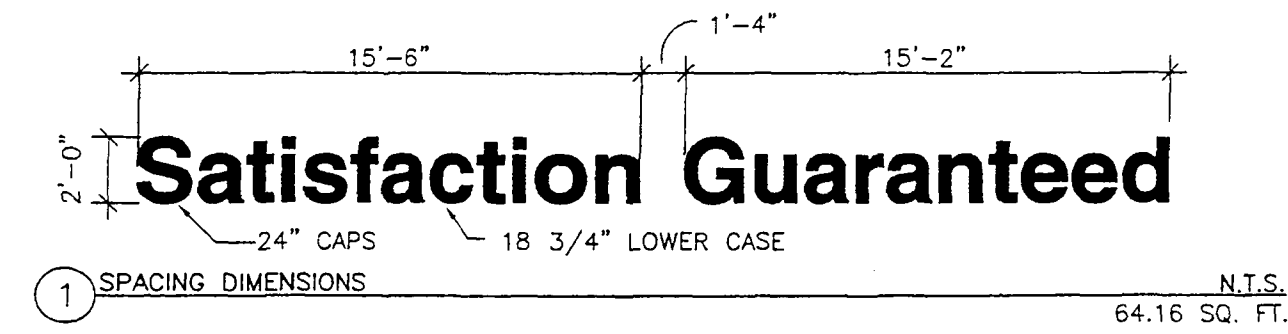
N.T.S.
146 SQ. FT.

1 SPACING DIMENSIONS



SUPERCENTER SIGNING ALWAYS	
WAL★MART	
REVISION DATE: 09-15-00	
B-5	

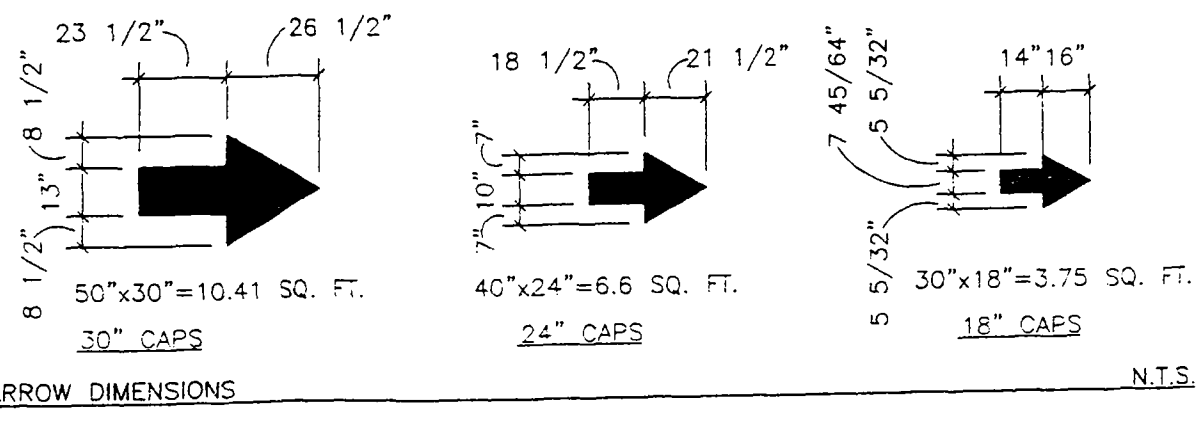
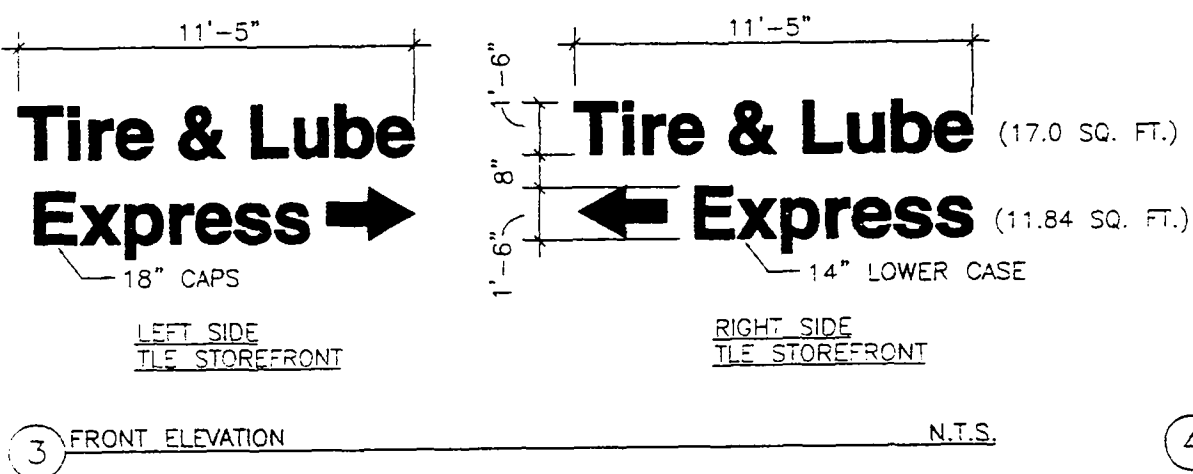
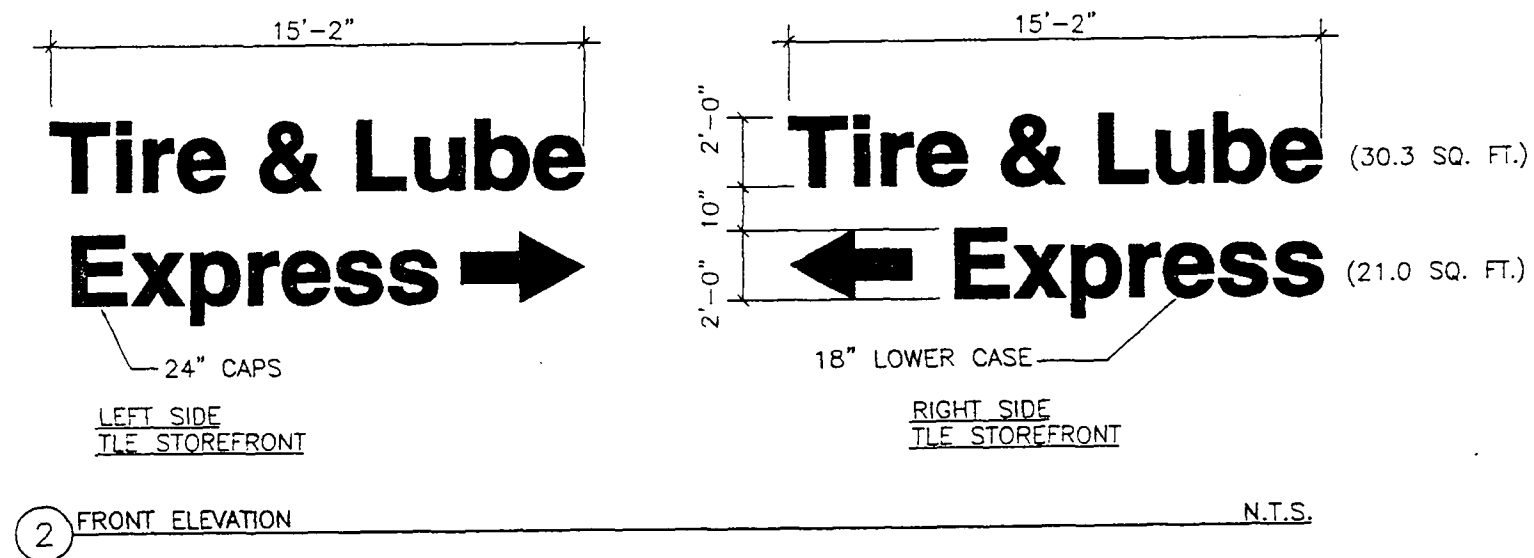
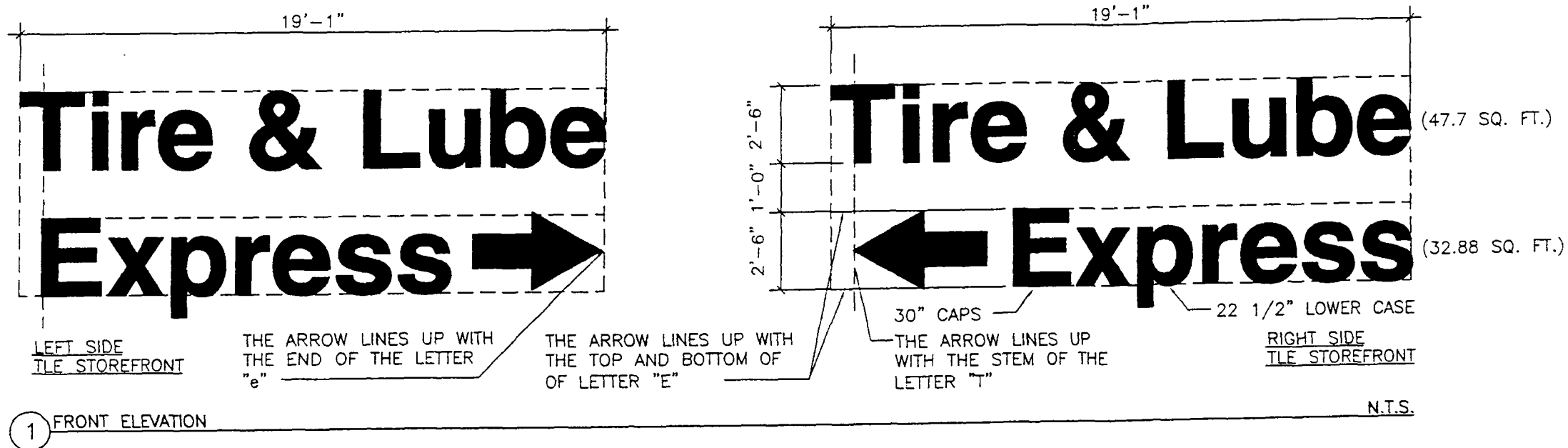
NOTE: DRAWINGS ON SHEET NOT TO SCALE.



HELVETICA MEDIUM STUD
MOUNT PLASTIC LETTERS

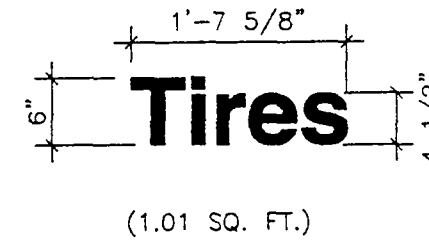
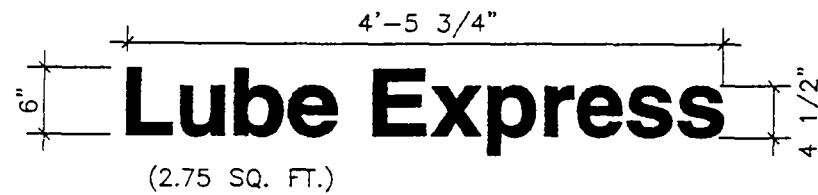
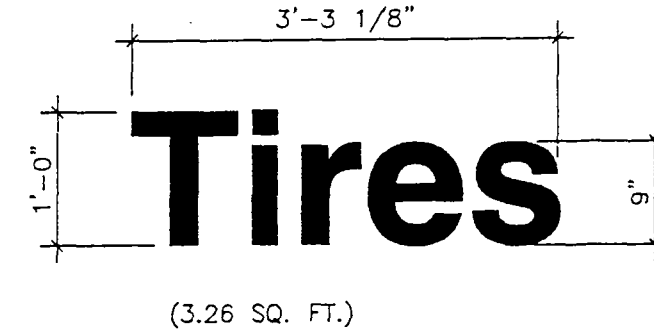
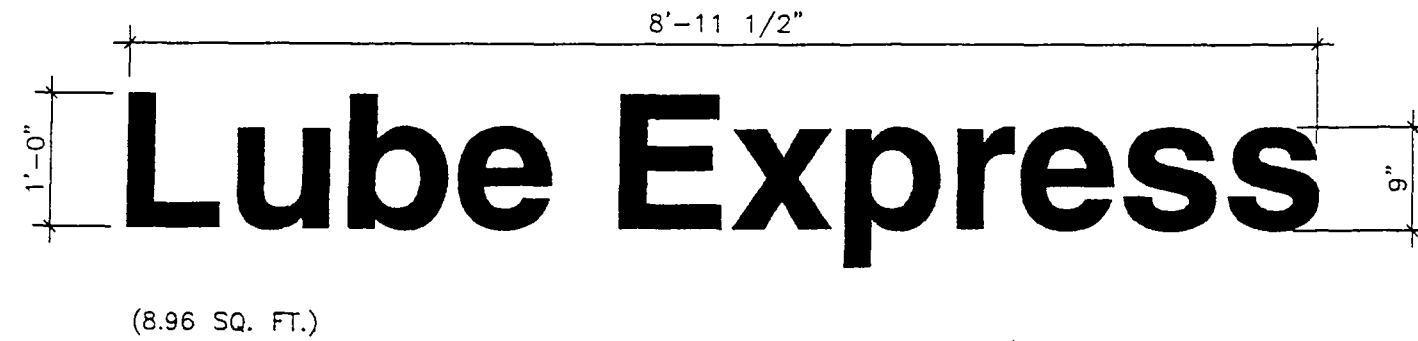
SUPERCENTER SIGNING	
WAL★MART	
REVISION DATE: 09-15-00	
B-7	

NOTE: DRAWINGS ON SHEET NOT TO SCALE.



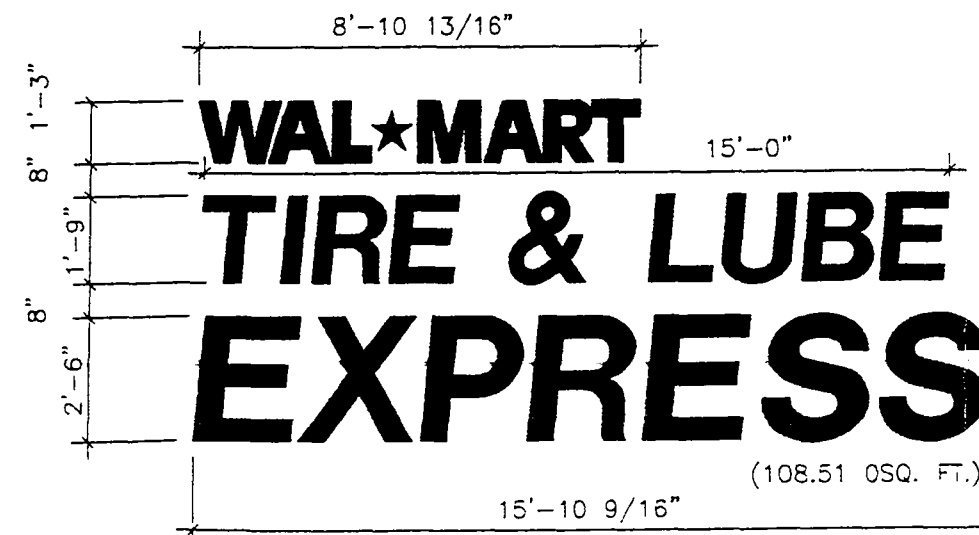
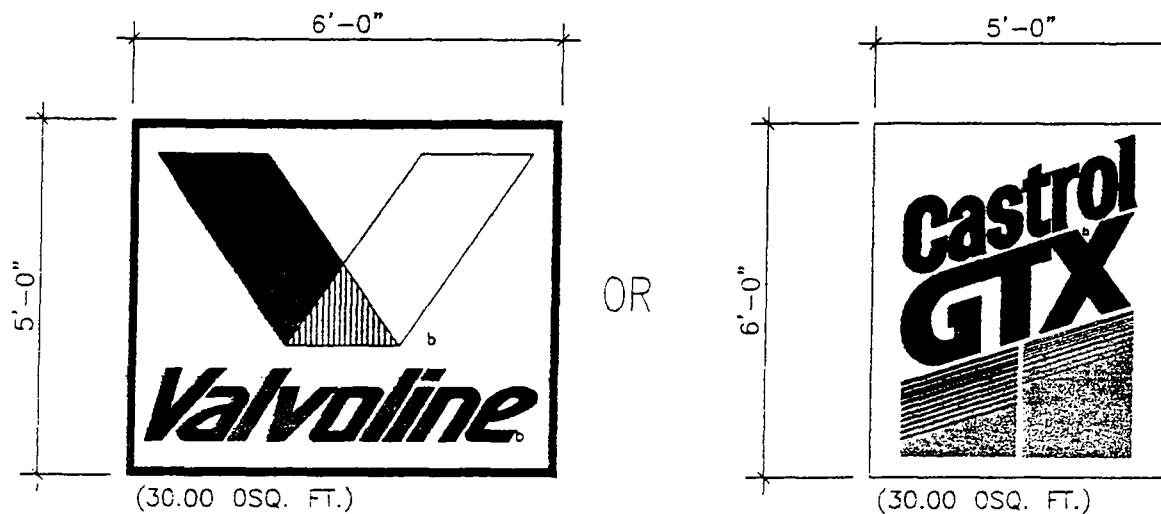
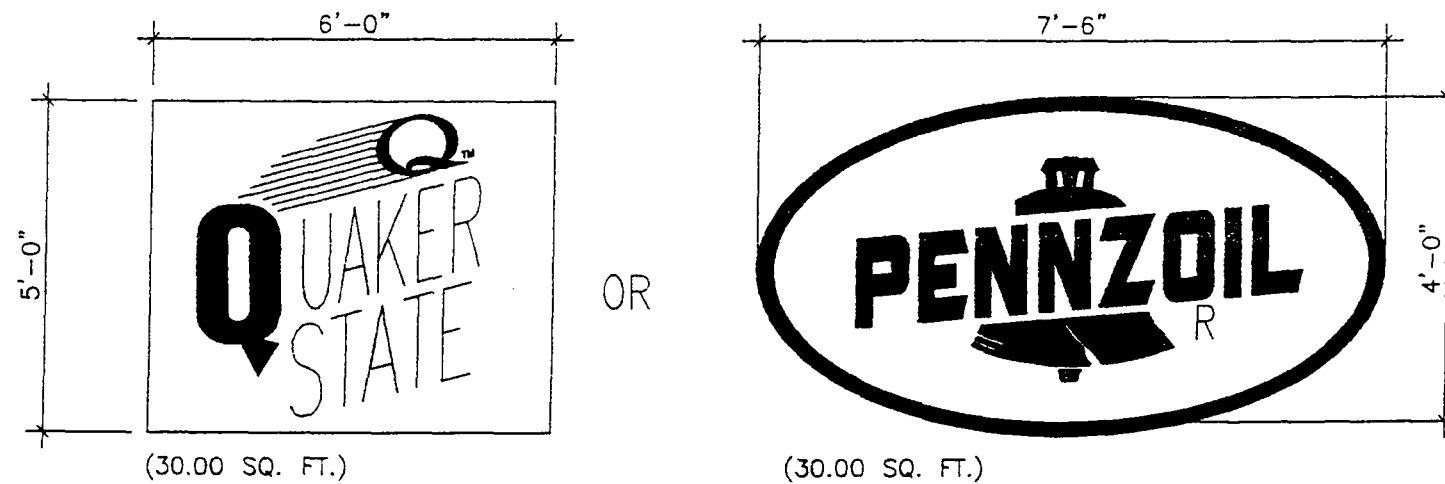
T.L.E. SIGNING	
WAL★MART	
REVISION DATE: 09-15-00	
E-1	

NOTE: DRAWINGS ON SHEET NOT TO SCALE.



1 SERVICE BAY SIGNAGE - A N.T.S.

2 SERVICE BAY SIGNAGE - B N.T.S.

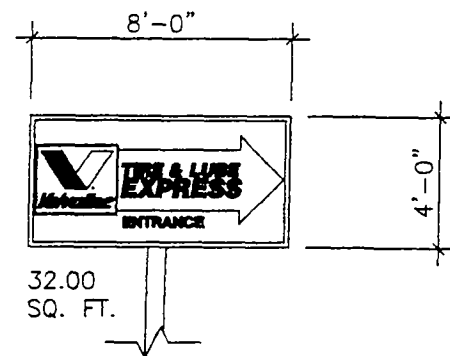


3 TILE FRONT ELEVATION SPACING

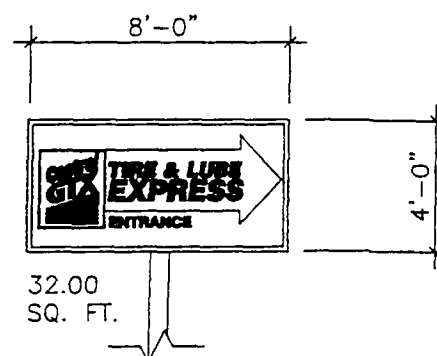
N.T.S.

NOTE: DRAWINGS ON SHEET NOT TO SCALE.

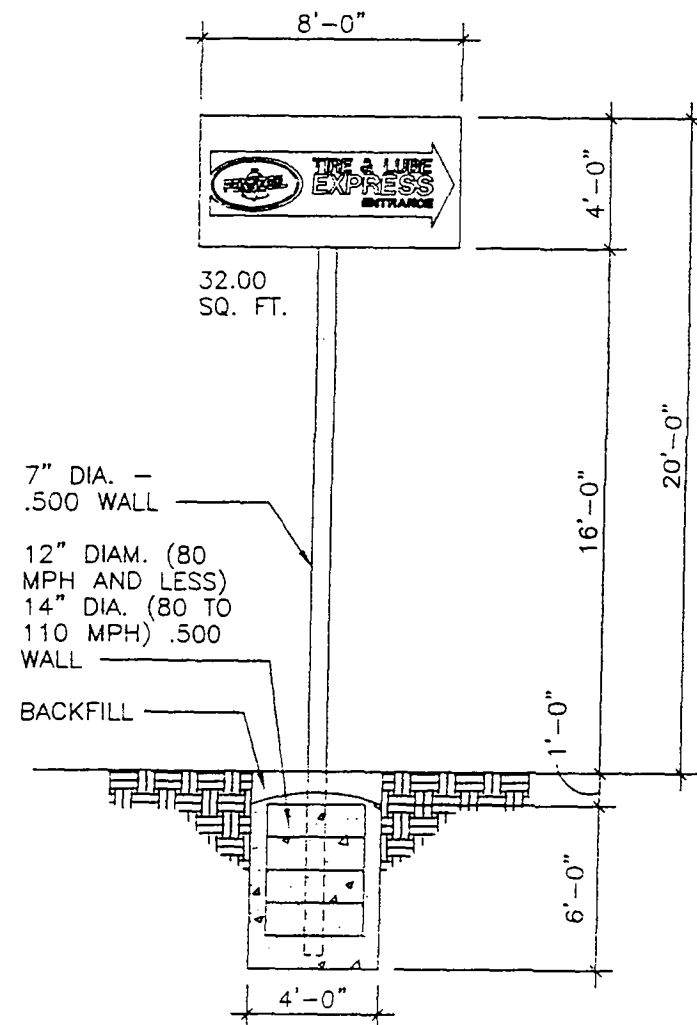
T.L.E. SIGNING	
WAL★MART	
REVISION DATE:	
09-15-00	
E-2	



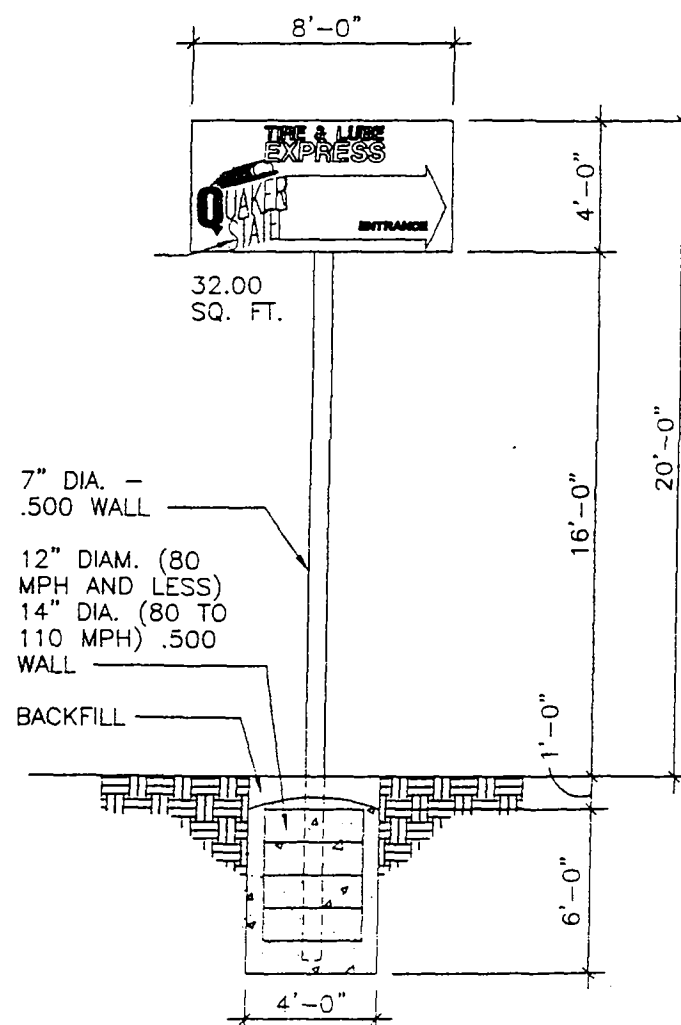
1 FRONT VIEW N.T.S.



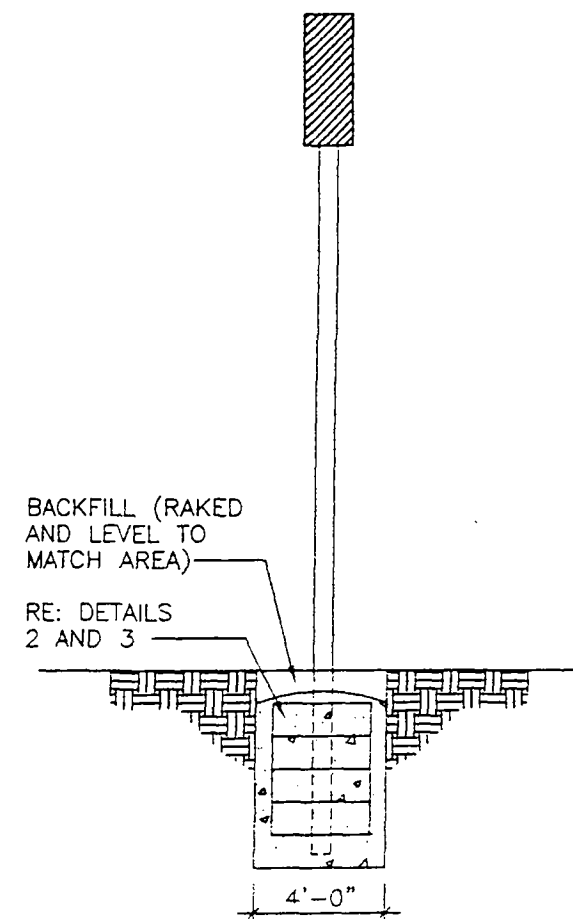
2 FRONT VIEW N.T.S.



3 FRONT VIEW N.T.S.



4 FRONT VIEW N.T.S.



5 SIDE VIEW N.T.S.

CONTRACTORS' DUTIES:

1. CONTRACTOR MUST REMOVE ALL EXCESS DIRT.
2. BACKFILL OVER CONCRETE FOOTINGS.
3. CONTRACTOR SHALL PAINT POLES AND ANY ATTACHED HARDWARE, CONDUIT, ELECTRICAL BOXES, ETC. COLOR TO BE BLACK.
4. NOTIFY WAL-MART SIGN SHOP BEFORE EXCAVATING ANY PLANNED LANDSCAPED AREA.
5. CLEAN UP ALL DEBRIS.
6. CLEAN FACE AND RETURN OF ALL SIGNS AFTER COMPLETED INSTALLATION.

ENGINEERING NOTE:

DESIGN IS BASED ON REQUIREMENTS OF ASCE-7 AND UBC CRITERIA USING A53 STEEL PIPE AND CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

CASTROL, VALVOLINE, PENNZOIL AND QUAKER STATE PYLONS

WAL★MART

REVISION DATE:
09-15-00

E-3

NOTE: DRAWINGS ON SHEET NOT TO SCALE.

EXHIBIT "E"

TOPOGRAPHY MAP

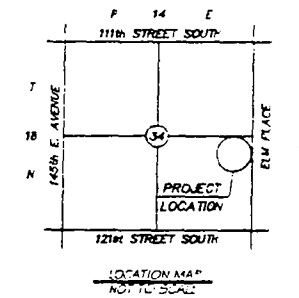
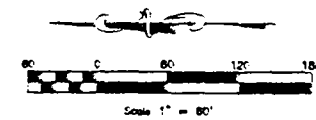
TOPOGRAPHIC MAP

WATERLOO WAY

A PART OF THE SE/4 OF SECTION 34, T-18-N, R-14-E, I.M.
BROKEN ARROW, TULSA COUNTY, OKLAHOMA

QUANAH ROAD

ARKANSAS VALLEY SOUTH



LOT SUMMARY

LOT #1	22.35 Ac.
LOT #2	11.78 Ac.
LOT #3	0.87 Ac.
LOT #4	1.78 Ac.
LOT #5	1.10 Ac.
LOT #6	1.12 Ac.
RESERVE A	2.45 Ac.
RESERVE B	0.54 Ac.
RESERVE C	0.95 Ac.
TOTAL	42.94 Ac.

DEVELOPER
WAL-MART STORES, INC.
2001 SOUTHEAST 10TH ST.
BENTONVILLE, ARKANSAS 72716

ENGINEER
SPEAR AND McCALEE CO., INC.
815 WEST MAIN
OKLAHOMA CITY, OKLAHOMA 73106

SURVEYOR
SMITH-ROBERTS AND ASSOCIATES
25 SOUTH OKLAHOMA, SUITE 400
OKLAHOMA CITY, OKLAHOMA 73104

NOTES:
1. CUT 1' @ CENTER OF ROADWAY.
2. 30% DRAINAGE.
3. NEAR ALL PROP. CORNERS
ELEVATIONS

TOPOGRAPHIC MAP
BLOCK 1, WATERLOO WAY
TUCSON ROAD & ELM PLACE BROKEN ARROW, OKLAHOMA
SPEAR & McCALEE CO., INC. OKLAHOMA CITY, OKLAHOMA
DATE: 01/12/00 SCALE: 1" = 60' SHEET NO. 1
TERENCE L. MAYNES

Details

C-192-ESGR-OR
CENTER-ENTRY, APPROX. 100' X 100'
NEAR 1/4 CORNER, S.E. & 1/4 CORNER, S.E. 1/4
ELEVATIONS
1.5' - 1.7' (1.6')

RESERVE AREA "C"
(STORMWATER DETENTION BASIN)



November 30, 2007

Jared Brown
Broken Arrow Plaza Associates, LLC
635 Court Street, Suite 120
Clearwater, FL 33756

Subject: PUD 126B – Broken Arrow Plaza (Waterloo Way) - minor amendment

Dear Mr. Brown:

The Broken Arrow Planning Commission, in their meeting of November 29, 2007, reviewed and approved, as recommended by Staff, Planned Unit Development (PUD) 126B, a minor amendment, Broken Arrow Plaza (Waterloo Way), 11.61 acres, 1 lot, zoned C-2 / PUD 126, located west of the northwest corner of Elm Place and Tucson Street. Staff recommended that PUD-126B be approved subject to the following:

1. As per the existing Wal-Mart sign, the proposed sign shall be limited to 25 feet in height.
2. The proposed sign shall be located more than 90 feet from the existing Wal-Mart sign. Location of sign shall be reviewed and approved by Development Services Department
3. Any other free-standing signs on Lot 2 shall be limited to 14 feet in height and 100 square feet.
4. All the other conditions associated with PUD 126 shall remain in effect.

Action taken by the Planning Commission will be recorded in the minutes of their meeting of November 29, 2007. If you have any questions, please contact me.

Sincerely,

Farhad K. Daroga
City Planner

cc: Thomas C. Graham, II
Kathy Austin
Gary Arnold

FKD/pcm