

PUD for Broken Arrow Storage Facility

September 17, 2019

Following proposed PUD regulations and supporting the Broken Arrow Comprehensive Plan governing the Broken Arrow Storage Facility, A Planned Unit Development pursuant to provisions and approval by the City of Broken Arrow.

Legal Description for 1021 North Narcissus. Broken Arrow, OK 74012

Subdivision: Rock Wood West

Lot 18 Less S140 Thereof Block 5. (Lot size is 110' west to east & 97' south to north).

Section 3 Township 18 Range 14

Project currently used for a Car Wash, which will be demolished. In addition all existing structure and pavement will be removed.

Zoning is presently zoned CN (Commercial Neighborhood) and is designated as Level 6 in the Comprehensive Plan.

As per the Zoning Ordinance, A PUD is required to be submitted with IL zoning. This PUD will be developed in accordance with the Broken Arrow Zoning Ordinance and the use and development regulations of the IL District, except as follows:

Project Development Proposal

Change zoning to Industrial Light (IL) to be in compliance with the comprehensive plan.

Permitted uses: Indoor mini storage only, No outdoor storage will be allowed.

Project proposal is to build a three level enclosed conditioned storage facility. This three level pre-engineered storage building will have two rated exits on each level and one elevator serving each floor. The proposed exterior material will be of masonry material with a finish similar to factory finished cement board. Elevation height of storage facility is limited to 38.0'. In accordance with the Zoning Ordinance, any HVAC units placed on the top of the building will be shielded by parapet walls on all the building sides that are equal to or greater than the height of the HVAC units.

Pre-engineered storage building setbacks to be 30.0' on west side facing Narcissus, north side facing residential setback is 47.0', east and south building setbacks is 5.0' from property lines.

Parking to be provided in the setback area abutting the residential zoning on the north side. Twenty-four feet wide entry road with one side parking 18' deep x 9'-6" spaces. As per the zoning ordinance, a 10.0' wide landscape area will be provided along the north boundary, In addition, an Eight feet (8.0') high masonry fence with cast stone cap on north side of property. The masonry wall will start 20.0' from the west property line. The masonry fence shall not consist of exposed concrete block. East and South side



fence to be eight feet high wrought iron fence painted dark. Front west side operable gated entry to be 8' high wrought iron paint fence.

Landscape trees along Narcissus in street yard to be according to City of Broken Arrow Landscape Requirements.

Except as follows:

1. One large to medium tree per 30.0' of frontage along Narcissus Avenue.
2. One large to medium evergreen tree per 30 linear feet along the north boundary.
3. Landscape edge of at least 30 feet in width along Narcissus Avenue.
4. All required landscape will be irrigated with an underground sprinkler system.
5. Any landscape material that fails will be replace in accordance with the zoning ordinance.

No parking lot light poles will be installed on the site. Site lighting to be on building with proper cut off shroud's to allow no spill over light into neighborhood. All wall packs will be shielded with light directed towards the ground.

Proposed wall signage on building on west and south elevations. Refer to exhibits. There will be no freestanding signs.



Section: 03 Township: 18 Range: 14

DRAWING INDEX	
Sheet Number	Sheet Name
A100a	SITE PLAN EXISTING
A100b	SITE PLAN DEMO
A100c	SITE PLAN NEW CONSTRUCTION
A101	1st FLOOR PLAN
A102	2nd FLOOR PLAN
A103	3rd FLOOR PLAN
A200	EXTERIOR ELEVATIONS
A202	3D VIEWS

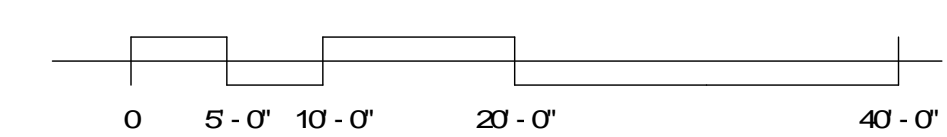
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BROKEN ARROW
COMMUNITY DEVELOPMENT

① SITE EXISTING
1" = 10'-0"

[illegible]

A100a

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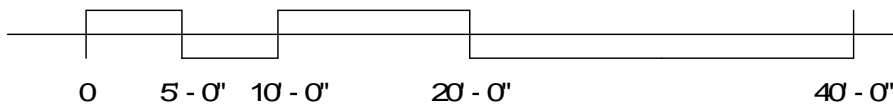
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NOTE: DEMO ENTIRE SITE



① SITE DEMO
1" = 10'-0"



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STATE OF OKLAHOMA
2773
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STORAGE
1021 N. Narcissus Ave.
Broken Arrow, OK 74012

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No.	Description	Date

SHEET
A100b
SITE PLAN DEMO

Zoning Ordinance
Broken Arrow, Oklahoma

② BROKEN ARROW ZONING
1/4" = 1'-0"

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Level 3: 37
Grand total: 111

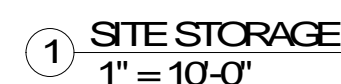
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Zoning Ordinance
Broken Arrow, Oklahoma

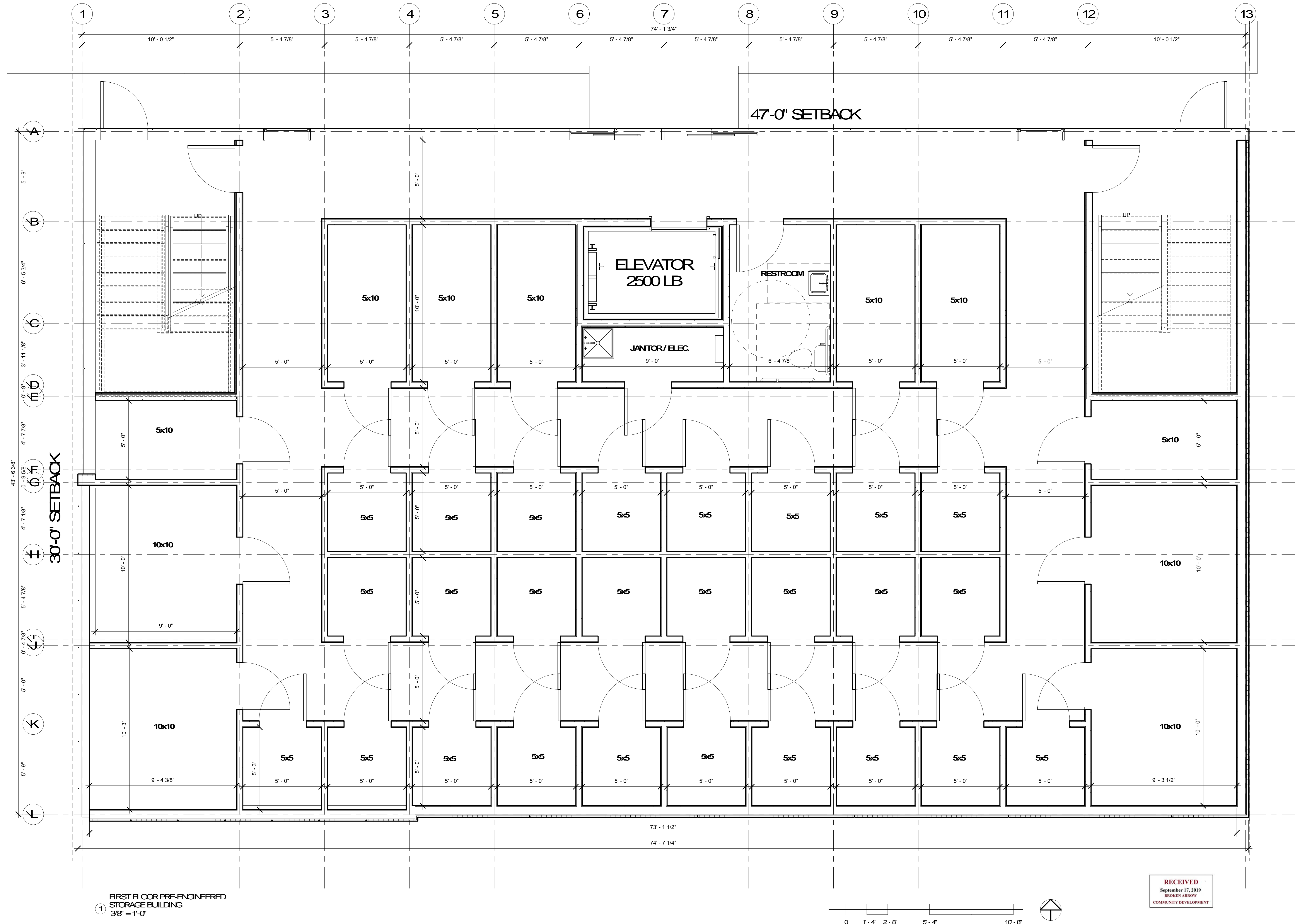
③ BROKEN ARROW ZONING 2
1/4" = 1'-0"



A100c

SITE PLAN NEW
CONSTRUCTION

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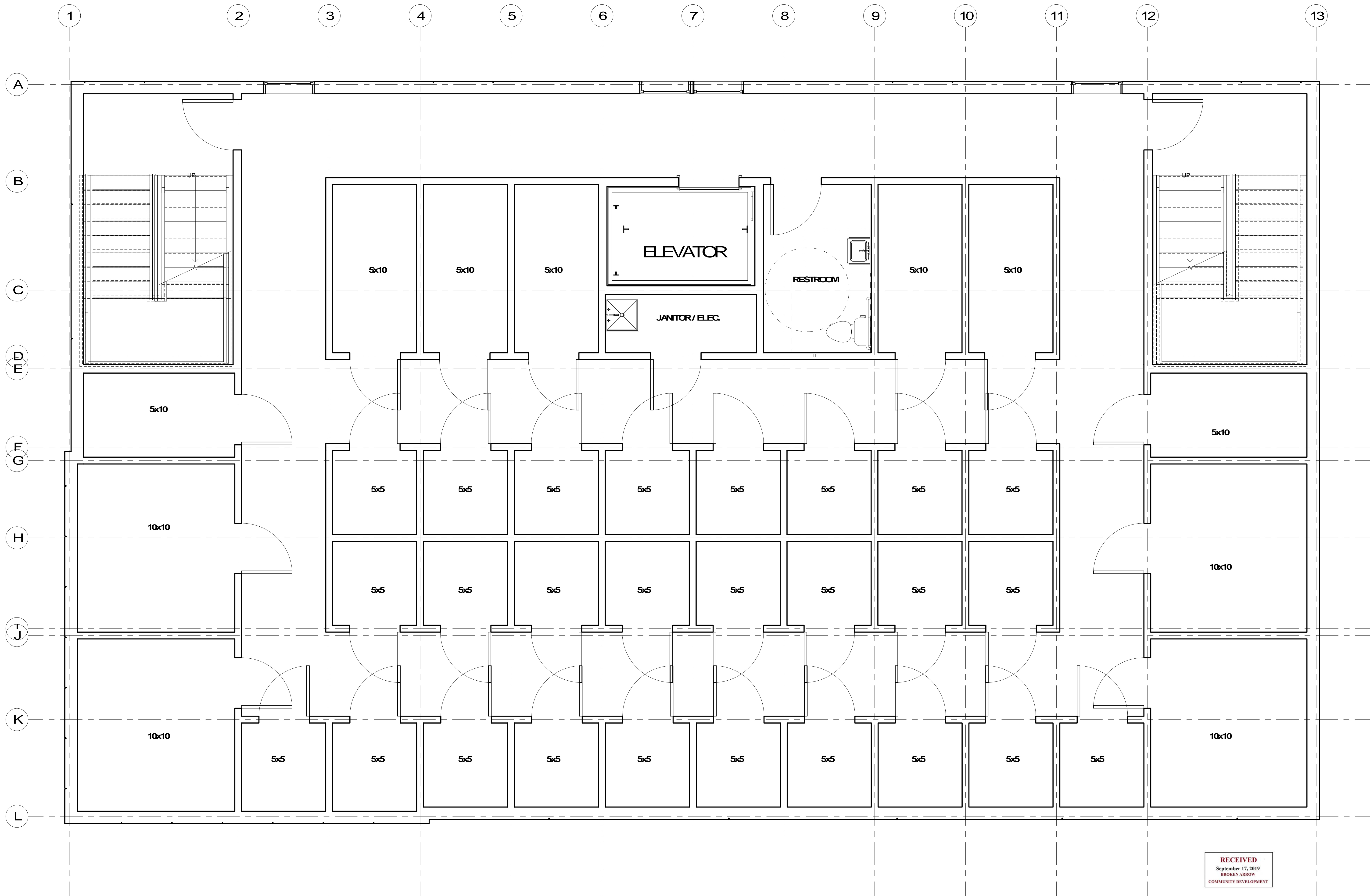
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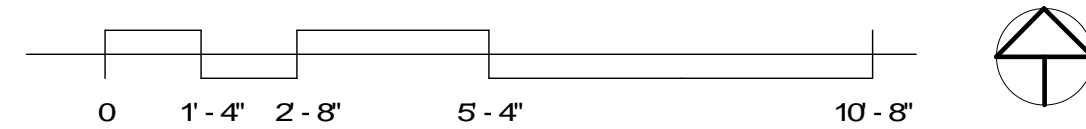
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A101
1st FLOOR PLAN

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1 SECOND FLOOR PRE-ENGINEERED
STORAGE BUILDING
3/8" = 1'-0"



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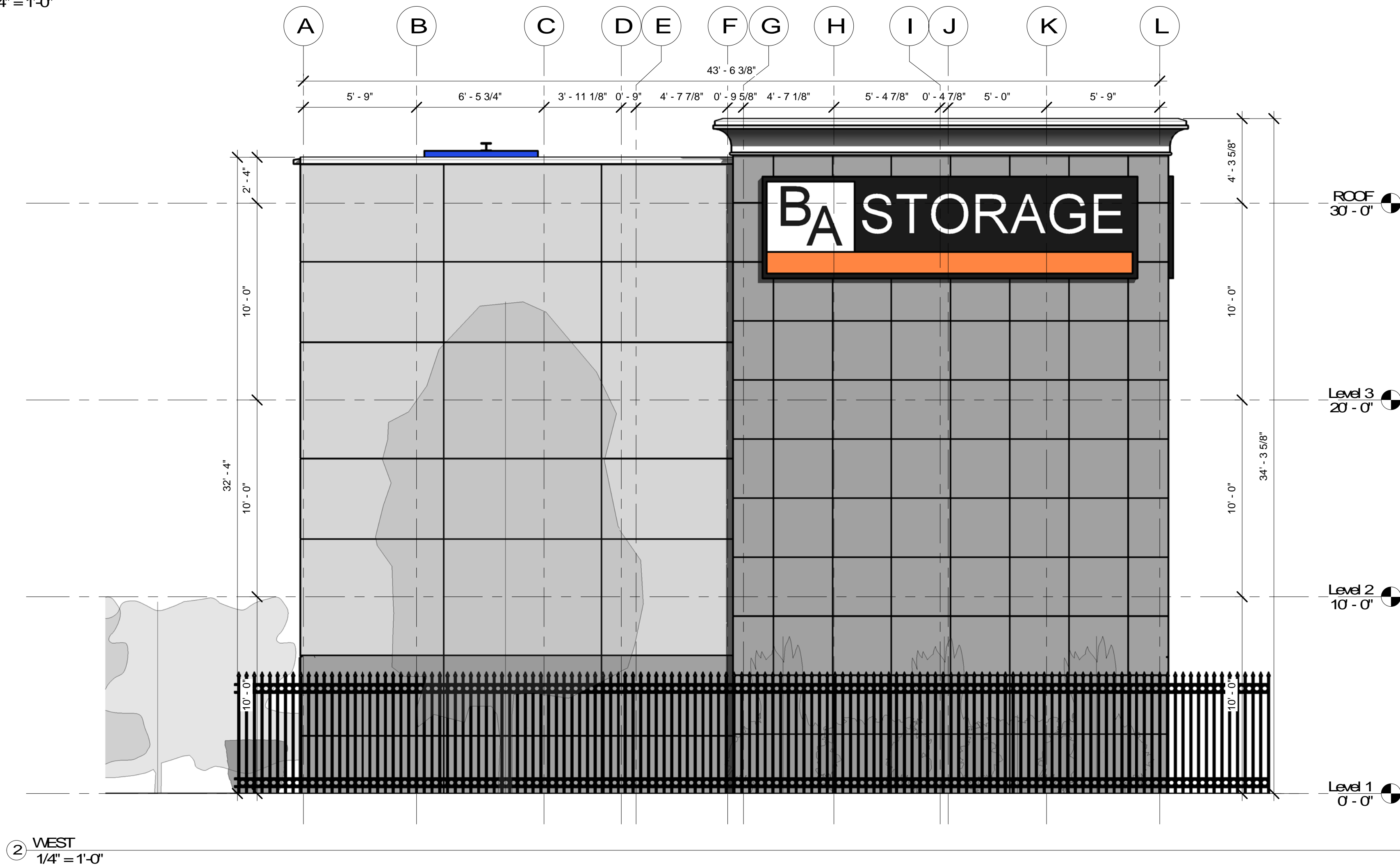
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A102
2nd FLOOR PLAN

A103

3rd FLOOR PLAN



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SHEET
A200
EXTERIOR
ELEVATIONS

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① 3D View 1



② 3D View 2

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3D VIEWS