

ORDINANCE NO. 2617

An ordinance amending the Broken Arrow Zoning Code, by amending Article III, Sections 1.2 and 2.4; and by creating Article VI, Section 4A; all creating the Zoning District of R-2S; establishing yard requirements, lot sizes, and bulk requirements; repealing all ordinances to the contrary and declaring an emergency.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BROKEN ARROW:

SECTION I. Article III, Section 1.2 and 2.4 Of the Broken Arrow Zoning Code are hereby amended to read as follows:

1.2 - The Zoning Districts set forth below are hereby established. The District symbol is in the column to the left.

A-1	General Agricultural District
R-E	Estate, One-Family Residence District
R-1	One-Family Residence District
*R-1S	One-Family Residence District (R-1 small)
R-2	One-Family Residence District
R-2S	One-Family Residence District (R-2 small)
R-3	One-Family Residence District
R-3S	One-Family Residence District (R-3 small)
R-4	Two-Family Residence District
R-5	Multiple Family Residence District
R-6	Multiple Family Residence District
RMH	Mobile Home Park District
O-1	Central Office District
O-1P	Central Office District with Parking
O-2	Office Park District Planned
O-3	Neighborhood Office District
C-1	Central Business District
C-1P	Central Commercial District with Parking
C-2	Planned Shopping Center District
C-3	Neighborhood Convenience Shopping District
C-4	Automotive Sales and Service District
C-5	Highway Commercial and Commercial Recreation District
I-S	Service and Light Industrial District
I-1	Light Industrial District
I-2	Heavy Industrial District

2.4 - "R-2" AND "R-2S" ONE FAMILY RESIDENCE DISTRICT

(a) PURPOSE OF R-2

The "R-2" One Family Residence District is established as a district in which the predominant use of land is for single-family dwellings. It is the purpose of this district to promote the construction of and the

continued use of the land for single-family dwellings with a greater density of land use than the minimum provision in the "R-1" district. The intent of this district further prohibits commercial and industrial use or any other use which would substantially interfere with the development or continuation of single family dwellings in this district. The intent further discourages any use in this district that would generate traffic or create congestion on neighborhood streets other than the normal traffic which serves the residents in the area. This district further discourages any use which, because of its character or size, would create additional requirements and costs for public services which are in excess of such requirements and costs if the district was developed solely for single family dwellings.

(b) PURPOSE OF R-2S

The "R-2S" One Family Residence District is designed specifically to provide an area for single-family housing with a smaller side yard requirement than permitted in the "R-2" district. It is the purpose of this district to promote the construction of and the continued use of the land for single-family dwellings with a greater density of land use than the minimum provision in the "R-1" district. The intent of this district further prohibits commercial and industrial use or any other use which would substantially interfere with the development or continuation of single family dwellings in this district. The intent further discourages any use in this district that would generate traffic or create congestion on neighborhood streets other than the normal traffic which serves the residents in the area. This district further discourages any use which, because of its character or size, would create additional requirements and costs for public services which are in excess of such requirements and costs if the district was developed solely for single family dwellings.

SECTION II. Article VI, Section 4A Of the Broken Arrow Zoning Code is hereby created to read as follows:

SECTION 4A
R-2S, ONE FAMILY RESIDENCE DISTRICT

4A.1--PERMITTED USES

Permitted uses in the R-2S residence district are the same as those in the R-2 district.

4A.2--MINIMUM LOT SIZE

No dwelling or use shall be constructed or commenced in the R-2S district which does not conform with the following minimum requirements for lot size.

Single Family Dwelling:

Minimum Lot Area: 8,000 sq. ft.

Minimum Frontage: 70 feet*

Other Permitted Uses:

Minimum Lot area: 12,000 sq. ft.

Minimum Frontage: 200 feet

*The frontage of any wedge-shaped lot which meets the requirements of the minimum lot size may, however, be less than the minimum requirements as long as the front building line on the lot is a minimum of seventy (70) linear feet.

4A.3--MAXIMUM COVERAGE

The maximum coverage of any lot in the R-2S district shall not exceed fifty percent (50%) of the net lot area for interior lots nor sixty percent (60%) of the net lot area for corner lots.

4A.4--YARD REQUIREMENTS

The following minimum requirements for yards shall apply to any use that is constructed or commenced on a parcel of land in the R-2S district.

Single Family Dwelling:

Front Yard: 25 feet
Side Yard, Both: 10 feet
Side Yard, One: 5 feet
Rear Yard: 20 feet
Adjacent to an Arterial Road:
35 feet
40 feet Exterior/Abutting Another Public
Street or Alley: 25 feet

Other Permitted Uses:

Front Yard: 40 feet
Side Yard, Both: 40 feet
Side Yard, One: 20 feet
Rear Yard: 20% of the lot depth
Exterior/Abutting Public Street
Arterial or Alley:

4A.5 HEIGHT LIMIT

No dwelling in the R-2S district shall be constructed with a height in excess of fifty (50) feet from the mean lot elevation. No building for another use shall exceed thirty-five (35) feet or 125% of the setback, whichever is higher.

4.6--BULK LIMITATIONS (FLOOR AREA RATIO)

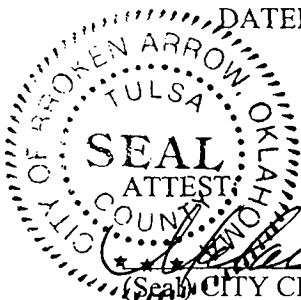
Bulk limitations in the R-2S district are governed by maximum coverage, yard requirements and height limitations.

SECTION III. Any ordinance or parts of ordinances found to be in conflict herewith are hereby repealed.

SECTION IV. An emergency exists for the preservation of the public health, peace, and safety, and therefore this ordinance shall become effective from and after the time of its passage and approval.

PASSED AND APPROVED and the emergency clause ruled upon separately this 15th day of March, 2004.

DATED this 15th day of March, 2004.



(Seal) CITY CLERK

Richard M. Cantor
MAYOR

APPROVED:

Michael R. [Signature]
CITY ATTORNEY