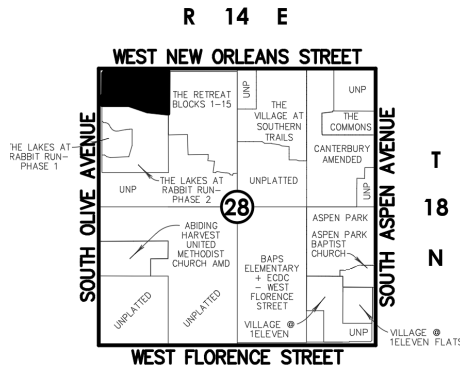
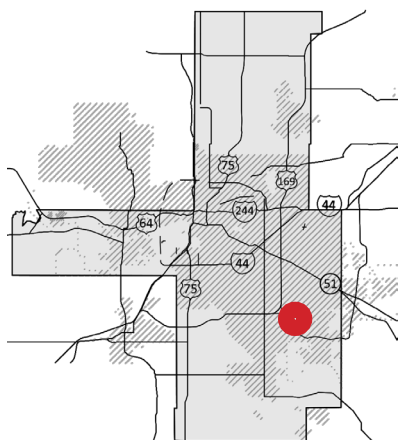


# The Enclave at Southern Trails

MAJOR AMENDMENT # 1 TO PLANNED UNIT DEVELOPMENT (PUD) NO. PUD-000126-2022,  
A PUD OF APPROXIMATELY 20.13 ACRES  
LOCATED AT THE SOUTHEAST CORNER OF SOUTH OLIVE AVENUE AND WEST NEW ORLEANS STREET  
CITY OF BROKEN ARROW, TULSA COUNTY, OKLAHOMA



Location Map

Scale: 1"= 2000'



NOV. 14, 2024

**OWNER/DEVELOPER:**  
PERKINS DEVELOPMENT CORP  
PO BOX 1527  
TULSA, OK 74101

**APPLICANT/CONSULTANT:**  
TANNER CONSULTING LLC  
C/O ERIK ENYART  
5323 S LEWIS AVE  
TULSA, OK 74105  
EENYART@TANNERBAITSHOP.COM



**The Enclave at Southern Trails**

SOUTHEAST CORNER OF  
S. OLIVE AVE. AND W. NEW ORLEANS ST.  
BROKEN ARROW, OKLAHOMA

PUD-001815-2024  
Major Amendment # 1 to Planned Unit Development No. PUD-000126-2022

Owner:  
Perkins Development Corp  
PO Box 1527  
Tulsa, OK 74101

Consultant:  
Tanner Consulting, LLC  
5323 S. Lewis Ave.  
Tulsa, OK 74105  
(918) 745-9929

Architect:  
NSPJ Architects  
9415 Nall Ave., Suite 300  
Prairie Village, KS 66207  
(913) 831-1415

Original PUD by AAB Engineering, LLC  
Submitted August 1<sup>st</sup>, 2022  
Updated December 29, 2022  
Approved by Broken Arrow City Council January 3, 2023

## I. INTRODUCTION AND SCOPE

The Enclave at Southern Trails, comprising 20.13+/- net acres situated at the southeast corner of West New Orleans Street (101<sup>st</sup> Street South) and South Olive Avenue (129<sup>th</sup> E. Ave.) was submitted as Planned Unit Development No. PUD-000126-2022 and was conditionally approved by the Broken Arrow City Council on January 3, 2023, on the condition that the property be platted.

Development Areas A and B of the PUD was originally designated and planned for commercial uses and Development Area C of the PUD was originally designated and planned for multifamily residential uses. Then, and now with this PUD Major Amendment, the multifamily residential uses take the form of townhouse-style dwellings.

Since the PUD was approved, a specific site design has been prepared which has changed the layout compared to what was then a conceptual design. The new site design includes 155 dwelling units compared to 145, includes specific and generous residential amenities including a larger clubhouse and larger pool, big and small dog parks, a playground and pavilion in addition to the sports courts. The new site design includes numerous, connected communal lawns contributing to a walkable, campus-style residential community. As presently designed, six (6) live-work dwelling units are proposed at the southwest corner of the Site, with parking provided for both residents and customers and other visitors. The commercial development areas are planned to have wider landscaped edges, a uniform building line with variegated façades, and patios and wider and more numerous sidewalks to encourage pedestrian circulation.

The proposed drive intersections with the arterial streets remain the same, except the southwestern-most drive has been moved to the south end of the Olive Avenue frontage.

The CM Community Mixed-Use underlying zoning permits both residential and nonresidential use, thus enabling true mixed-use buildings taking the form of live-work units. This PUD Amendment will activate this mixed-use allowance, transfer the location of Development Area B to cover the area containing the live-work units, and permit up to six (6) such live-work dwelling units and the nonresidential workspace building floor area as occupied by same.

This Amendment includes revised legal descriptions for the Development Areas based on new surveying and matching the revised design.

Except as specifically provided herein, no other changes are proposed to The Enclave at Southern Trails by this Amendment. The original exhibits have been updated or replaced and additional exhibits added for further information.

Broken Arrow Zoning Ordinance Section 6.4.D.11.a. provides, "If a plat has not been recorded [on] any portion of the PUD within two years after its approval by the City Council, the PUD shall expire. The property owner may request an extension of the PUD for 12 months by submitting a written explanation and demonstration that no code changes are affected by this extension. Two, one-year extensions may be considered and approved by Staff. If a plat has not been recorded on any portion of the PUD within four years after its initial approval, it shall expire and zoning shall revert to its pre-PUD

status. Once a plat is recorded on any portion of the PUD, the entire PUD is validated.” Along with this PUD Amendment, an extension for 12 months is hereby respectfully requested.

An application for rezoning, BAZ-00012-2022, was approved along with the original PUD, on the condition that the property be platted. The area conditionally approved for CG (Commercial General) zoning is substantially consistent with the same area designated Level 4 “Commercial/Employment Nodes” Land Use Intensity on the Broken Arrow Next Comprehensive Plan, and the balance of the site, conditionally approved for RM (Residential Multi-Family) and CM (Community Mixed-Use), is substantially consistent with the same area designated Level 3 “Transition Area”. Moreover, the PUD Development Areas and associated intensities proposed by the original PUD and this Amendment are all in accordance with the intensity provisions of the Broken Arrow Zoning Ordinance and so should also be considered to be in accordance with the Comprehensive Plan. No change of the underlying zoning district is proposed. The subject property will be developed in accordance with the City of Broken Arrow Zoning Ordinance and the use and development regulations of the underlying CG, RM, and CM districts, except as modified by the PUD.

## II. AMENDED DEVELOPMENT STANDARDS

Development Standards are restated as follows:

### Development Area A:

Development Area A shall be governed by the Broken Arrow Zoning Ordinance use and dimensional standards as established by the CG district except as hereinafter modified:

<b>Gross Land Area:</b>	460,944 SF	10.582 AC
<b>Net Land Area:</b>	343,274 SF	7.880 AC
<b>Permitted Uses:</b> Uses permitted as a matter of right in the CG district (except as specified below); the following uses allowed by Specific Use Permit shall also be allowed by right: Micro food and beverage production*; and uses customarily accessory to uses permitted herein, provided that each use meets the minimum standards of Section 3.3 of the Zoning Ordinance. <u>Excluded uses:</u> Medical marijuana dispensaries, pawn shops, bail bonding, and check casher/payday lenders (Defined as an establishment that is substantially in the business of charging a fee to cash a check and/or negotiating, arranging, aiding, or assisting a consumer in procuring payday loans).		
<b>Maximum Lot and Building Coverage:</b>	N/A	
<b>Maximum Building Floor Area:</b>	295,481 SF **	
<b>Maximum Building Height:</b>	52 feet or 3 stories	
<b>Minimum Lot Width and Frontage:</b>	100 FT	
<b>Minimum Building Setbacks:</b>		
From Arterial Street Right-of-Way:	50 FT ***	
From Development Areas B and C Boundaries:	10 FT	
From East PUD Boundary:	0 FT	
From All Other Boundaries:	0 FT	
<b>Minimum and Maximum Parking Ratios:</b>	Per Broken Arrow Zoning Ordinance ****	
<b>Other Bulk and Area Requirements:</b>	As required within CG District	

\* Use is subject to additional development standards as outlined in Broken Arrow Zoning Ordinance Section 3.2.

\*\* An initial transfer of 4,520 SF of nonresidential building floor area is transferred by this Amendment to cover the six (6) live-work units within Development Area B; Any future transfers of floor area shall require a subsequent Amendment or as otherwise required by the City of Broken Arrow.

\*\*\* The setback is reduced to 25 FT where no parking is located between the building and the street.

\*\*\*\* Minimum and maximum parking may be modified by the Broken Arrow Planning Commission upon approval of a PUD Minor Amendment.

**Development Area B:**

Development Area B shall be governed by the Broken Arrow Zoning Ordinance use standards as established by the CM district and the dimensional standards as established by the RM district except as hereinafter modified:

<b>Gross Land Area:</b>	40,539 SF	0.931 AC
<b>Net Land Area:</b>	33,225 SF	0.763 AC
<b>Permitted Uses:</b> Multi-family dwellings; vertically mixed-use buildings including second-floor dwelling units and ground floor nonresidential uses limited to the following uses: catering service, micro food and beverage production (subject to Zoning Ord. Section 3.2), business or professional offices, fitness and recreational sports center, art gallery or studio, general personal services, instructional services, general retail (but excluding pawn shops), and makerspaces (defined as facilities for small-scale, craft production, that produce or make items that by their nature, are designed or made by an artist or craftsman by using hand skills); neighborhood community playfields and parks, including clubhouses, pools, and similar neighborhood amenities; minor utility facilities; and uses customarily accessory to uses permitted herein, provided that each use meets the minimum standards of Section 3.3 of the Zoning Ordinance. No more than 4 dwelling units shall be attached unless in a rowhouse* type of configuration.		
<b>Maximum Number of Dwelling Units:</b>	6	
<b>Minimum Lot Width:</b>	100 FT	
<b>Minimum Lot Frontage:</b>	100 FT	
<b>Minimum Lot Area:</b>	2,300 SF per dwelling unit	
<b>Minimum Land Area per Dwelling Unit:</b>	2,200 SF **	
<b>Maximum Building Height:</b>	2 Stories and 35 FT ***	
<b>Minimum Off-street Parking:</b>	1.5 per Single Bedroom dwelling unit 2 per Two or More Bedrooms dwelling unit 1 additional per each 750 SF of live-work unit building floor area	
<b>Maximum Lot and Building Coverage:</b>	60% ****	
<b>Minimum Livability Open Space per DU:</b>	1,200 SF ****	
<b>Maximum Nonresidential Building Floor Area:</b>	4,520 SF *****	
<b>Minimum Yard Setbacks:</b>		
From Arterial Street Right-of-Way:	75 FT *****	
From Development Area A:	10 FT	
From Development Area C:	5 FT	
From South PUD Boundary:	20 FT	
<b>Other Bulk and Area Requirements:</b>	As required within the RM District	

- \* *A rowhouse is defined by a series of attached dwelling units where all vertical stories of a unit are inhabited by a single family.*
- \*\* *Minimum land area per dwelling unit is satisfied by the proportion of maximum number of dwelling units to gross land area as provided in Section 4.1.E.1.b. of the Broken Arrow Zoning Ordinance. Lots are therefore not subject to this requirement on an individual basis.*
- \*\*\* *Architectural features may extend a max. of five (5) feet above maximum permitted building height.*
- \*\*\*\* *Maximum aggregate lot coverage by buildings, parking, and drives is limited to the lesser of 60% or that amount necessary to meet minimum livability open space requirements. Livability open space, defined as open space not utilized for parking or drives, and including sidewalks and trails, may be located on a lot or contained within common open space of the development, as per Section 4.1.E.1.d. of the Broken Arrow Zoning Ordinance.*
- \*\*\*\*\* *An initial transfer of 4,520 SF of nonresidential building floor area is transferred from Development Area A to this Development Area B by this Amendment to cover the six (6) live-work units within Development Area B; Any future transfers of floor area shall require a subsequent Amendment or as otherwise required by the City of Broken Arrow.*
- \*\*\*\*\* *The setback is reduced to 35 FT where no parking is located between the building and the street.*

**Development Area C:**

Development Area C shall be governed by the Broken Arrow Zoning Ordinance use and dimensional standards as established by the RM district except as hereinafter modified:

<b>Gross Land Area:</b>	500,424 SF	11.488 AC
<b>Net Land Area:</b>	500,424 SF	11.488 AC
<b>Permitted Uses:</b> Multi-family dwellings; neighborhood community playfields and parks, including clubhouses, pools, and similar neighborhood amenities; minor utility facilities; and uses customarily accessory to uses permitted herein, provided that each use meets the minimum standards of Section 3.3 of the Zoning Ordinance. No more than 4 dwelling units shall be attached unless in a rowhouse* type of configuration.		
<b>Maximum Number of Dwelling Units:</b>	154	
<b>Minimum Lot Width:</b>	200 FT	
<b>Minimum Lot Frontage:</b>	100 FT	
<b>Minimum Lot Area:</b>	2,300 SF per dwelling unit	
<b>Minimum Land Area per Dwelling Unit:</b>	2,200 SF **	
<b>Maximum Building Height:</b>	2 Stories and 35 FT ***	
<b>Minimum Off-street Parking:</b>	1.5 per Single Bedroom dwelling unit 2 per Two or More Bedrooms dwelling unit	
<b>Maximum Lot and Building Coverage:</b>	60% ****	
<b>Minimum Livability Open Space per DU:</b>	1,200 SF ****	
<b>Minimum Yard Setbacks:</b>		
From Arterial Street Right-of-Way:	75 FT *****	
From Development Areas A and B:	10 FT	
From East PUD Boundary:	15 FT	
From South PUD Boundary:	20 FT	
<b>Other Bulk and Area Requirements:</b>	As required within the RM District	

\* A rowhouse is defined by a series of attached dwelling units where all vertical stories of a unit are inhabited by a single family.

\*\* Minimum land area per dwelling unit is satisfied by the proportion of maximum number of dwelling units to gross land area as provided in Section 4.1.E.1.b. of the Broken Arrow Zoning Ordinance. Lots are therefore not subject to this requirement on an individual basis.

\*\*\* Architectural features may extend a max. of five (5) feet above maximum permitted building height.

\*\*\*\* Maximum aggregate lot coverage by buildings, parking, and drives is limited to the lesser of 60% or that amount necessary to meet minimum livability open space requirements. Livability open space, defined as open space not utilized for parking or drives, and including sidewalks and trails, may be located on a lot or contained within common open space of the development, as per Section 4.1.E.1.d. of the Broken Arrow Zoning Ordinance.



*\*\*\*\*\* An initial transfer of 4,520 SF of nonresidential building floor area is transferred from Development Area A to this Development Area B by this Amendment to cover the six (6) live-work units within Development Area B; Any future transfers of floor area shall require a subsequent Amendment or as otherwise required by the City of Broken Arrow.*

*\*\*\*\*\* The setback is reduced to 35 FT where no parking is located between the building and the street.*

### Landscape and Screening Standards

Landscaping and screening within the development shall meet the standards of the City of Broken Arrow Zoning Ordinance. In addition, a landscape buffer 20' in width shall be required along the east property line, and a landscape buffer 10' in width shall be required along the south property line. Within this buffer, one medium to larger evergreen tree shall be planted for every 30 linear feet of landscape edge and 10 medium shrubs (3 gallons at time of planting and 6-10 feet in height full grown) shall be planted for every 50 linear feet of landscaped edge. Patios may encroach on this landscape buffer up to 5 feet and sidewalks and trails shall not be excluded from the width calculation. In lieu of landscape buffers internal to the site, residential yards adjoining commercial development areas will be landscaped with at least one (1) tree per dwelling unit along the common boundary line. Landscaping trees may be clustered at landscaped nodes.

The eastern boundary is shared with commercial Lot 1, Block 1, open space Reserve A, and part of the westerly line of single-family residential Lot 7, Block 12, all in "The Retreat." Screening is not necessary between commercial lots. The easternmost dwelling units are designed to face open space Reserve A. However, a screening fence would block the view of the open space. Therefore, a screening fence with a minimum 6 feet in height will be provided along the eastern boundary of the property common with the westerly line of single-family residential Lot 7, Block 12, and along Reserve A unless waived in writing by the owner of Reserve A and the Homeowners Association for "The Retreat." A screening fence will not be required along the southern boundary abutting the greenspace, the western boundary along Olive Avenue, or internal to the site.

## **Street Design and Access**

Access to Development Area A will be via three curb cuts on West New Orleans Street and two curb cuts on South Olive Avenue. The offset spacing for the easternmost drive may be reduced to 100 feet if an engineering variance is approved by Engineering & Construction. If not approved, the spacing must meet the requirements set forth in the zoning ordinance. The existing opposing drive is too near the eastern boundary of the tract to provide an adequately aligned location. If the proposed drive location is shifted further west it will restrict the developability of the eastern portion of the commercial tract or violate the same side spacing criteria. The opposing drive is also a secondary access point for the church which will help to limit conflicting turning movements. Sidewalks will be constructed in accordance with City of Broken Arrow Subdivision Regulations.

Access to Development Area C will be via extension of two shared access drives from West New Orleans Street and the southern access drive from South Olive Avenue. Connectivity within the overall site layout will be provided via Mutual Access Easements. This layout shall be coordinated with City Staff.

## **Utilities**

The City of Broken Arrow will provide water, sanitary sewer, and storm sewer service to the property. Domestic water service and fire protection for the Site will be provided via connection to existing waterlines along New Orleans Street and Olive Avenue. Sanitary sewer will be extended from existing lines along the Site boundary throughout the development. A detention facility has been constructed south of the PUD boundary as part of The Lakes at Rabbit Run. The detention volume was sized to accommodate undetained runoff from this PUD area. All drainage infrastructure shall conform to City Code Requirements and the Detention Determination and Design Standards and the layout and design shall be coordinated through City staff.

Franchise utilities will also serve the project with communications, natural gas, and electricity. We anticipate underground services throughout the development.

## **Multifamily Building and Site Design Standards**

Due to the unique, low-density townhouse-style multifamily residential development proposed for Development Area C, certain design elements benefit from a relaxation of Broken Arrow Zoning Ordinance Section 5.5.C.

Buildings shall have a minimum separation of 10 feet from all front, side and rear walls.

There is no limit to the number of buildings continuously on the same building line.

Buildings shall be arranged so that the fronts of the buildings are set to the front or back of each adjacent front building line by at least thirty feet (30') or more.

Parking lots shall be no more than five hundred feet (500') in length without an offset change in direction of thirty feet (30') or more, centerline to centerline, or an intersection with another centerline. Off-street parking shall otherwise meet the requirements of the Broken Arrow Zoning Ordinance.

The maximum length of any multi-family building shall be 250'.

Each facade greater than 180' in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least ten percent (10%) of the length of the facade, and extending at least twenty percent (20%) of the length of the facade. No facade shall exceed fifty horizontal feet (50') unless interrupted by wall place projections or recesses having a depth of at least 1/3'.

All standard dwelling units will have their own enclosed garage, providing covered, enclosed, and secure storage areas for bicycles and other belongings that typically cannot be accommodated within individual dwelling units. Live work units are currently designed to be served by carports. Therefore, no special storage buildings are proposed for individual tenant use.

### **Platting and Detailed Site Plan Review**

No building permit shall be issued for any structure until a detailed site plan including landscaping and building elevations is submitted to and approved by the Broken Arrow Planning Commission and City Council as in conformance with the standards and development concept of this PUD. The site plan shall be considered in a public hearing and appropriate notices shall be mailed to the surrounding property owners. The Planning Commission and/or City Council specifically reserves the right to require up to 100% masonry on any façade within the development.

While Development Area boundaries are legally described herein, final Development Area boundaries and areas shall be established by required PUD subdivision plats, provided, however, in no event shall the overall residential density, as measured by maximum dwelling units within Development Area C, nor nonresidential intensity, as measured by maximum aggregate nonresidential building floor area within Development Areas A, B, and C, exceed the original numbers as provided herein.

### III. PROPERTY DESCRIPTIONS

#### (PUD DEVELOPMENT AREA A)

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE WEST HALF OF THE NORTHWEST QUARTER (N/2 W/2 NW/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID N/2 W/2 NW/4; THENCE SOUTH 01°18'02" EAST AND ALONG THE WEST LINE OF THE N/2 W/2 NW/4, FOR A DISTANCE OF 555.59 FEET; THENCE NORTH 88°42'00" EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 1°17'16" WEST FOR A DISTANCE OF 20.86 FEET; THENCE NORTH 28°41'44" EAST FOR A DISTANCE OF 40.06 FEET; THENCE NORTH 1°18'16" WEST FOR A DISTANCE OF 405.00 FEET; THENCE NORTH 43°42'38" EAST FOR A DISTANCE OF 35.35 FEET; THENCE NORTH 88°43'32" EAST FOR A DISTANCE OF 405.00 FEET; THENCE NORTH 58°43'32" EAST FOR A DISTANCE OF 19.92 FEET; THENCE NORTH 88°43'49" EAST FOR A DISTANCE OF 800.15 FEET; THENCE SOUTH 1°20'18" EAST FOR A DISTANCE OF 235.12 FEET; THENCE SOUTH 88°43'49" WEST FOR A DISTANCE OF 1040.57 FEET; THENCE SOUTH 1°18'33" EAST FOR A DISTANCE OF 260.32 FEET; THENCE SOUTH 88°42'00" WEST FOR A DISTANCE OF 227.03 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINS 343,273 SQUARE FEET OR 7.880 ACRES.

**(PUD DEVELOPMENT AREA B)**

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE WEST HALF OF THE NORTHWEST QUARTER (N/2 W/2 NW/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID N/2 W/2 NW/4; THENCE SOUTH 01°18'02" EAST AND ALONG THE WEST LINE OF THE N/2 W/2 NW/4, FOR A DISTANCE OF 555.59 FEET; THENCE NORTH 88°42'00" EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 88°42'00" EAST FOR A DISTANCE OF 227.03 FEET; THENCE SOUTH 1°18'33" EAST FOR A DISTANCE OF 146.33 FEET; THENCE SOUTH 88°41'58" WEST FOR A DISTANCE OF 227.08 FEET; THENCE NORTH 1°17'16" WEST FOR A DISTANCE OF 146.33 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINS 33,225 SQUARE FEET OR 0.763 ACRES.

**(PUD DEVELOPMENT AREA C)**

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE WEST HALF OF THE NORTHWEST QUARTER (N/2 W/2 NW/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID N/2 W/2 NW/4; THENCE SOUTH 01°18'02" EAST AND ALONG THE WEST LINE OF THE N/2 W/2 NW/4, FOR A DISTANCE OF 701.92 FEET; THENCE NORTH 88°41'58" EAST FOR A DISTANCE OF 227.05 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 1°18'33" WEST FOR A DISTANCE OF 406.64 FEET; THENCE NORTH 88°43'49" EAST FOR A DISTANCE OF 1040.57 FEET; THENCE SOUTH 1°20'18" EAST FOR A DISTANCE OF 566.63 FEET; THENCE NORTH 85°34'53" WEST FOR A DISTANCE OF 402.29 FEET; THENCE NORTH 72°29'25" WEST FOR A DISTANCE OF 373.54 FEET; THENCE SOUTH 88°41'58" WEST FOR A DISTANCE OF 287.00 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINS 500,424 SQUARE FEET OR 11.488 ACRES.

# The Enclave at Southern Trails

## EXHIBIT A

AERIAL PHOTOGRAPHY AND BOUNDARY DEPICTION  
WITH ADJACENT DEVELOPMENTS LABELED



## EXHIBIT A

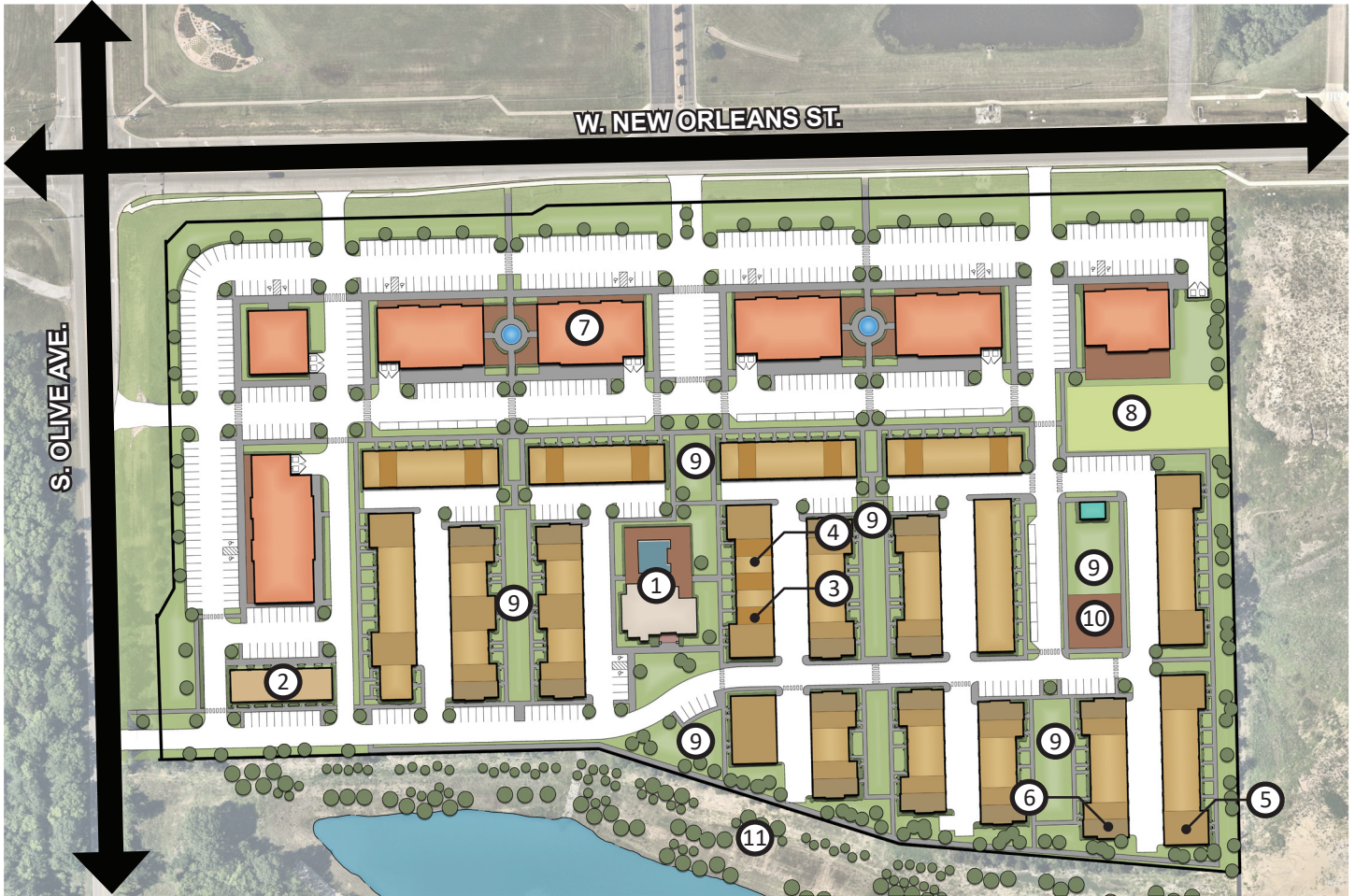




# The Enclave at Southern Trails

## EXHIBIT B

CONCEPTUAL SITE PLAN  
CONCEPTUAL LAYOUT DATED NOV. 1, 2024



Siteplan is Conceptual in Nature and Subject to Change during Platting and Engineering Process

### LEGEND

- |                               |   |
|-------------------------------|---|
| 1. CLUBHOUSE AND POOL         | 7. COMMERCIAL BUILDING  |
| 2. 1-BED LIVE/WORK UNITS      | 8. DOG PARK   |
| 3. 1-BED TOWNHOME-STYLE UNITS | 9. COMMUNAL LAWN  |
| 4. 2-BED TOWNHOME-STYLE UNITS | 10. PICKLEBALL COURTS AND PAVILLION                                 |
| 5. 3-BED TOWNHOME-STYLE UNITS | 11. RECENTLY INSTALLED TREE RESTORATION<br>WITHIN CONSERVATION AREA |
| 6. 4-BED TOWNHOME-STYLE UNITS |   |

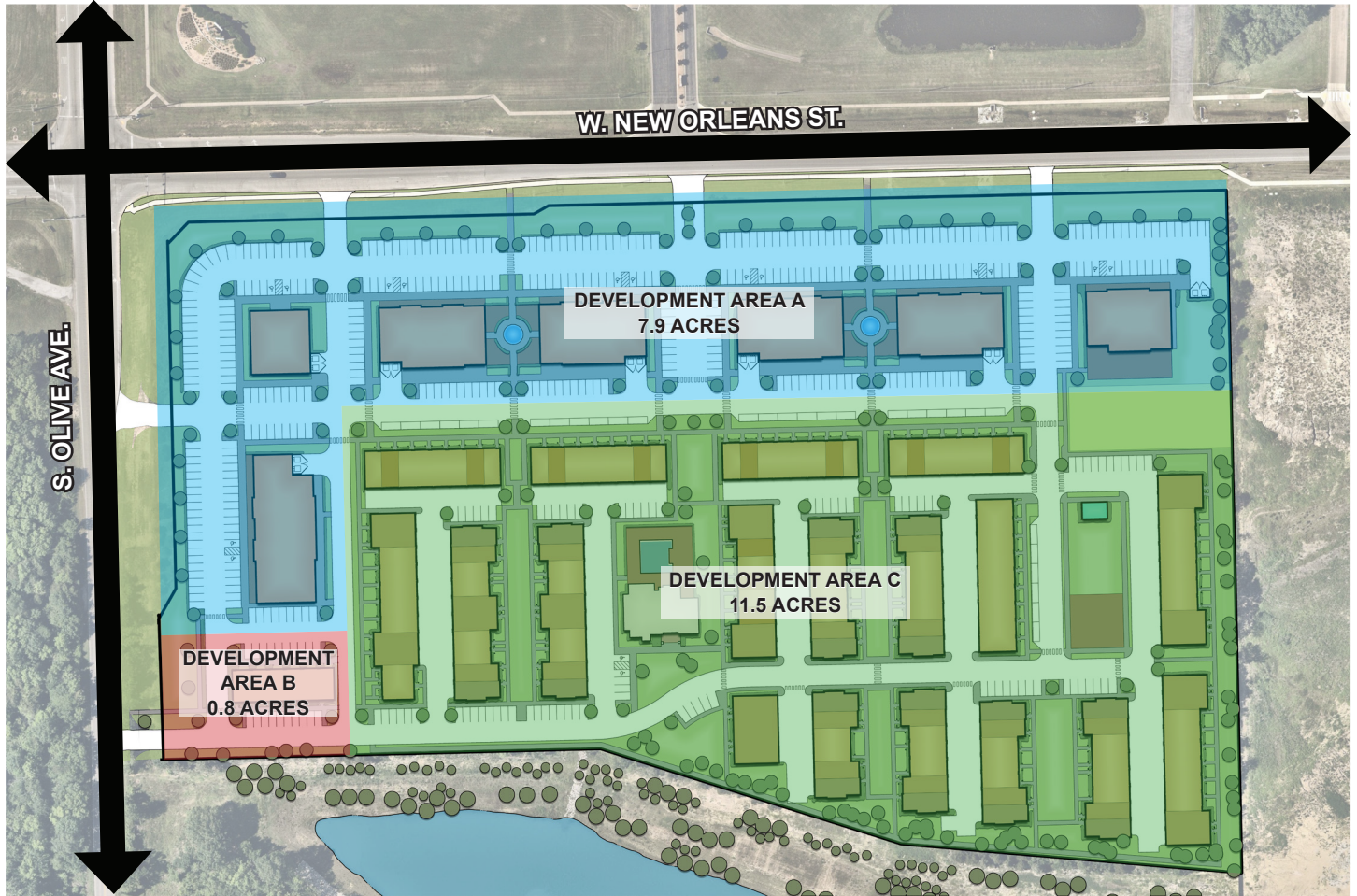
### EXHIBIT B



# The Enclave at Southern Trails

## EXHIBIT C

CONCEPTUAL DEVELOPMENT PLAN  
CONCEPTUAL LAYOUT DATED NOV. 1, 2024



## EXHIBIT C



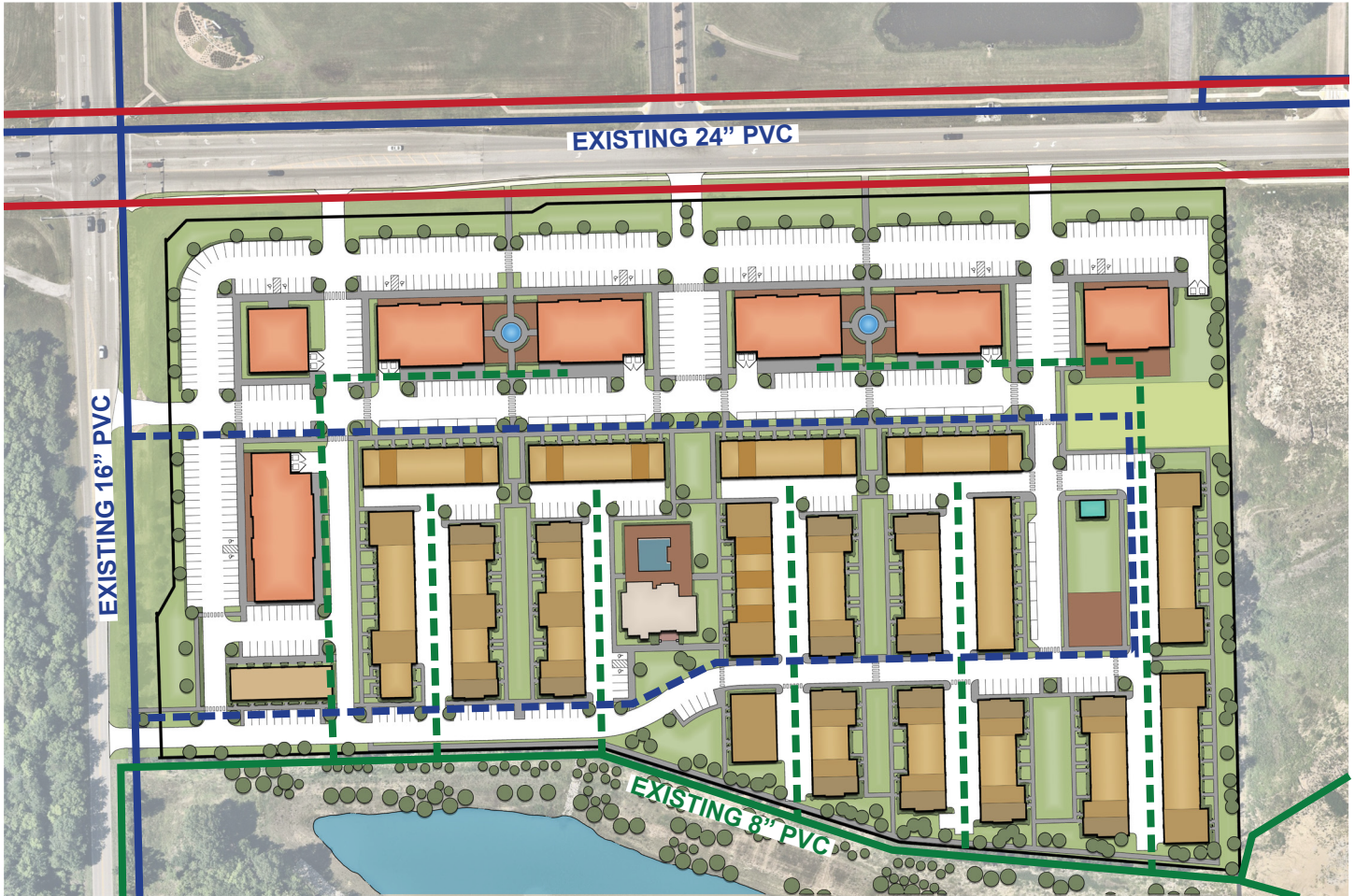
# The Enclave at Southern Trails

## EXHIBIT D

### EXISTING AND PROPOSED UTILITIES

CONCEPTUAL LAYOUT SHOWN AS OF NOV. 1 2024

EXISTING UTILITIES PER CITY OF BROKEN ARROW ATLAS AND FIELD SURVEY DATA



### LEGEND

- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- - - PROPOSED WATER SERVICE SYSTEM
- - - PROPOSED SANITARY SEWER SYSTEM
- EXISTING OVERHEAD ELECTRIC

### EXHIBIT D



# The Enclave at Southern Trails

## EXHIBIT E

### EXISTING SOILS

SOIL DATA FROM USDA WEB SOIL SURVEY, ACCESSED NOV. 1, 2024



### LEGEND

Map unit symbol	Map unit name	Rating	Acres on Site
12	Dennis silt loam, 1 to 3 percent slopes	A-6	0.6
13	Dennis silt loam, 3 to 5 percent slopes	A-6	3.3
14	Dennis silt loam, 3 to 5 percent slopes, eroded	A-6	10.4
16	Dennis-Radley complex, 0 to 12 percent slopes	A-6	6.0

### EXHIBIT E

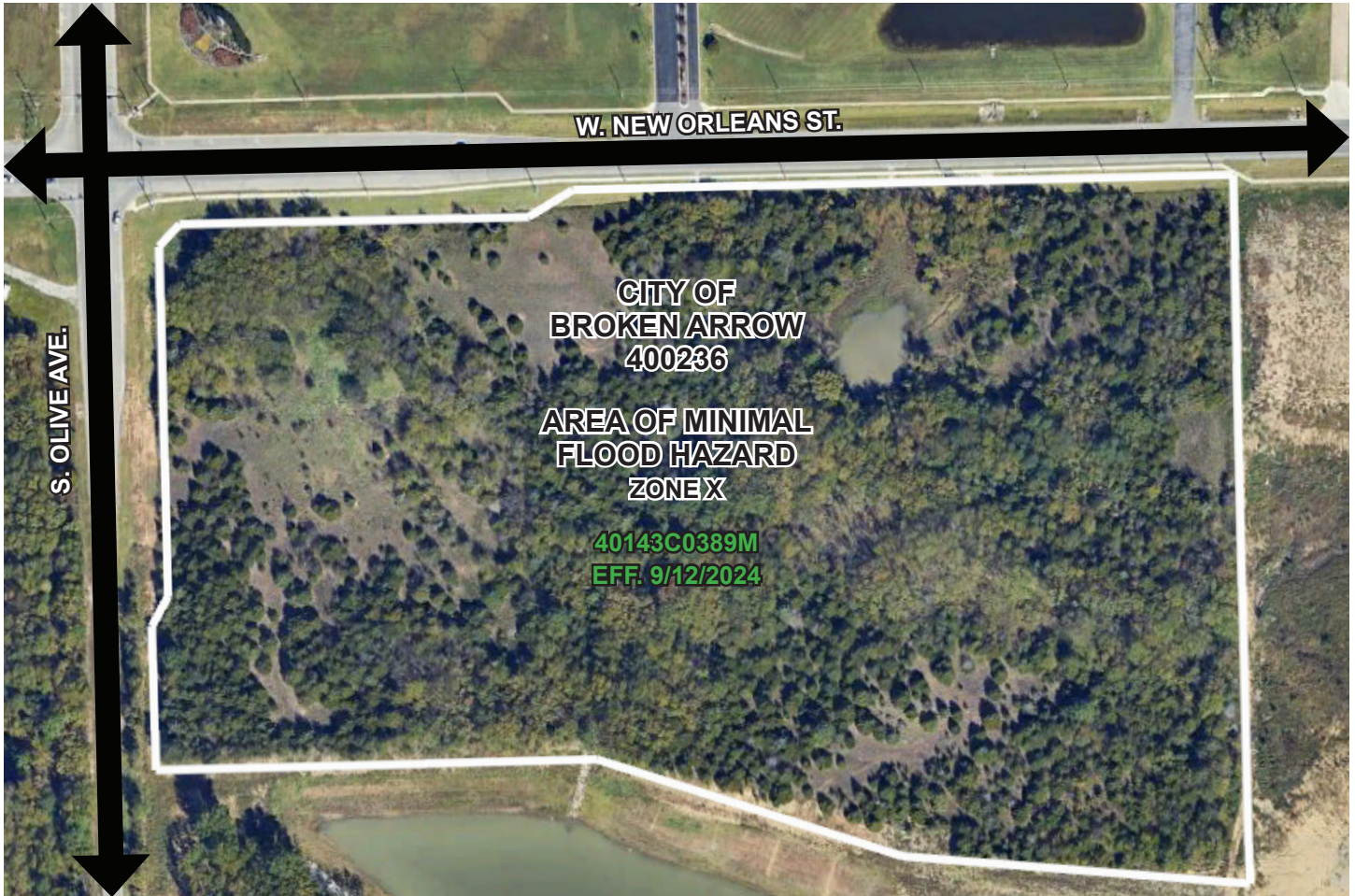


# The Enclave at Southern Trails

## EXHIBIT F

### FEMA FLOODPLAIN MAP

FLOODPLAIN DATA REFLECTS FEMA FIRM PANEL NO. 40143C0389M,  
EFFECTIVE 9/12/2024



## EXHIBIT F



# The Enclave at Southern Trails

## EXHIBIT G

### EXISTING ZONING MAP

DATA OBTAINED FROM INCOG GIS, ACCESSED NOV. 1, 2024 AND MODIFIED

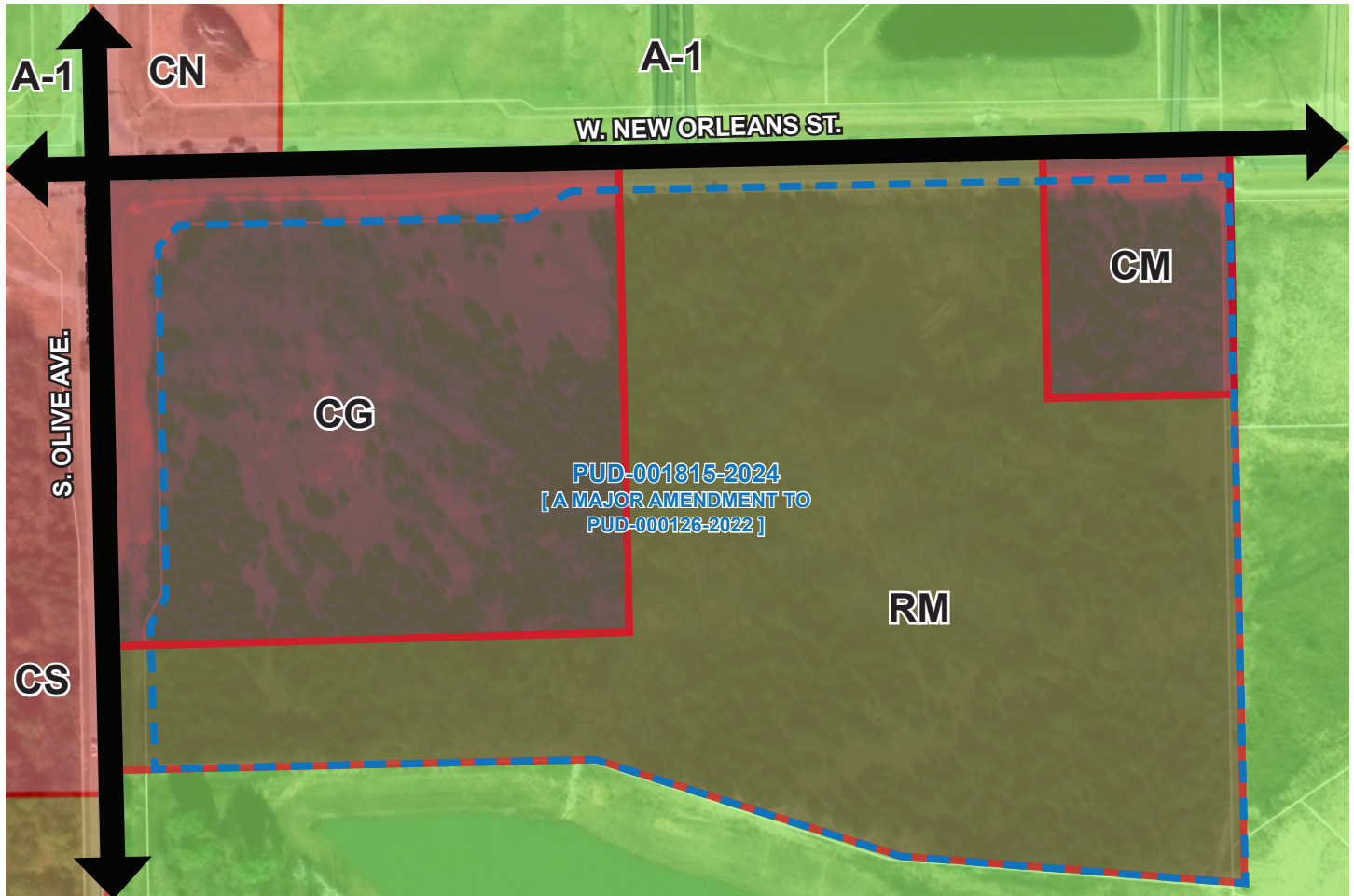


# The Enclave at Southern Trails

## EXHIBIT H

### PROPOSED ZONING MAP

DATA OBTAINED FROM INCOG GIS, ACCESSED NOV. 1, 2024 AND MODIFIED

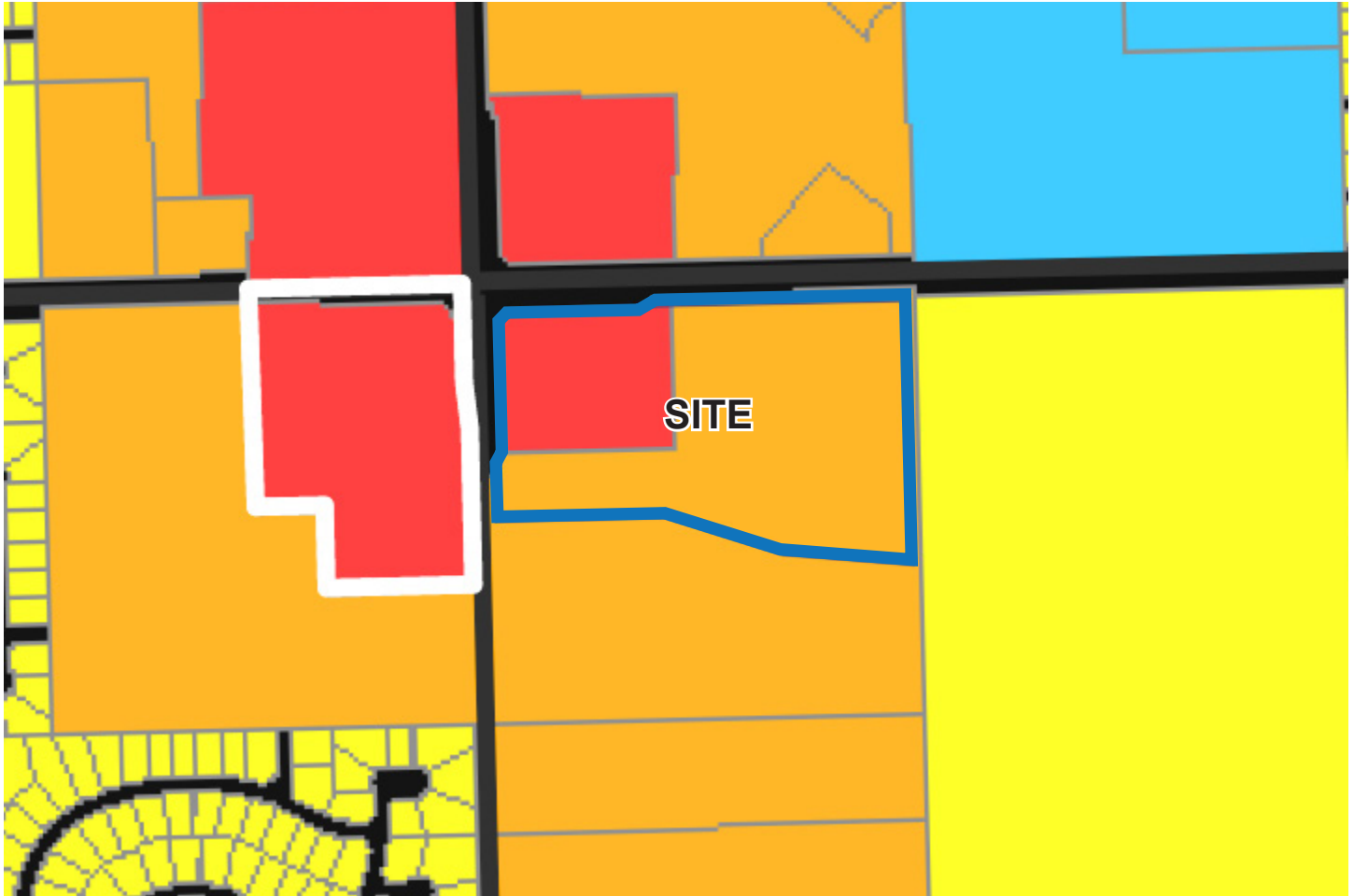


# The Enclave at Southern Trails

## EXHIBIT I

### COMPREHENSIVE PLAN MAP

DATA FROM BROKEN ARROW NEXT COMPREHENSIVE PLAN FUTURE DEVELOPMENT GUIDE  
LAND USE MAP, ACCESSED NOV. 1, 2024 AND MODIFIED







### LEGEND

#### LUIS Classification

-  LEVEL 1: RURAL RESIDENTIAL
-  LEVEL 2: URBAN RESIDENTIAL
-  LEVEL 3: TRANSITION AREA
-  LEVEL 4: COMMERCIAL/EMPLOYMENT NODES
-  LEVEL 5: DOWNTOWN AREA
-  LEVEL 6: REGIONAL EMPLOYMENT/COMMERCIAL
-  LEVEL 7: MAJOR INDUSTRIAL

#### Land Uses

-  GREENWAY/FLOODPLAIN
-  PUBLIC RECREATION
-  PRIVATE RECREATION
-  PUBLIC/SEMI PUBLIC

### EXHIBIT I

