



City of Broken Arrow

Meeting Agenda

Planning Commission

Robert Goranson Chairman
Jason Coan Vice Chairman
Jaylee Klempa Commissioner
Jonathan Townsend Commissioner
Mindy Payne Commissioner

Thursday, November 6, 2025

5:30 PM

**City of Broken Arrow
Council Chambers
220 South 1st Street
Broken Arrow, OK
74012**

1. Call To Order

2. Roll Call

3. Old Business

4. Consideration of Consent Agenda

- A. [25-1574](#) Approval of Planning Commission meeting minutes of October 23, 2025

Attachments: [10-23-2025 Meeting Minutes](#)

5. Consideration of Items Removed from Consent Agenda

6. Public Hearings

- A. [25-1570](#) Public hearing, consideration, and possible action regarding SP-002459-2025 (Specific Use Permit), Harvest Church, 6.58 acres, AG (Agricultural) to CG (Commercial General) via BAZ-002238-2025, located at the northwest corner of New Orleans Street (101st Street) and 9th Street (177th E. Avenue/Lynn Lane Road)

Attachments: [2-Case Map](#)
[3-Aerial Map](#)
[4-Conceptual Site Plan](#)

- B. [25-1573](#) Public hearing, consideration, and possible action regarding PUD-002465-2025, major amendment to PUD-193, 17.14 acres, IL (Industry Light) and PUD-193, located approximately ½ mile south of Washington Street (91st Street) and approximately ½ mile east of Evans Road (225th E Avenue)

Attachments: [Case Map](#)
[Aerial Map](#)
[Design Statement and Exhibits](#)

7. Appeals

8. General Commission Business

- A. [25-1568](#) Approval of a modification to Section 4.1(t) of the Land Subdivision Code for IOS Land Company, approximately 40 acres, IL (Industrial Light)/PUD (Planned Unit Development) 001521-2024, north of Houston Street (81st Street), one-quarter mile west of 23rd Street (193rd E. Avenue/County Line Road)

Attachments: [2-Exhibit](#)

9. Remarks, Inquiries and Comments by Planning Commission and Staff (No Action)

10. Adjournment

NOTICE:

1. ALL MATTERS UNDER “CONSENT” ARE CONSIDERED BY THE PLANNING COMMISSION TO BE ROUTINE AND WILL BE ENACTED BY ONE MOTION. HOWEVER, ANY CONSENT ITEM CAN BE REMOVED FOR DISCUSSION, UPON REQUEST.
2. IF YOU HAVE A DISABILITY AND NEED ACCOMMODATION IN ORDER TO PARTICIPATE IN THE MEETING, PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 918-259-8412, TO MAKE ARRANGEMENTS.
3. EXHIBITS, PETITIONS, PICTURES, ETC. PRESENTED TO THE PLANNING COMMISSION MAY BE RECEIVED AND DEPOSITED IN CASE FILES TO BE MAINTAINED AT BROKEN ARROW CITY HALL.
4. RINGING/SOUND ON ALL CELL PHONES AND PAGERS MUST BE TURNED OFF DURING THE PLANNING COMMISSION MEETING.

A paper copy of this agenda is available upon request.

POSTED this ____ day of _____, _____, at _____ a.m./p.m.

City Clerk



City of Broken Arrow

Request for Action

File #: 25-1574, **Version:** 1

**Broken Arrow Planning Commission
11-06-2025**

To: Chairman and Commission Members
From: Community Development Department
Title:

Background: Approval of Planning Commission meeting minutes of October 23, 2025
Minutes recorded for the Broken Arrow Planning Commission meeting.

Attachments: 10 23 2025 Planning Commission Minutes

Recommendation: Approve minutes of Planning Commission meeting held October 23, 2025.

Reviewed By: Rocky Henkel

Approved By: Rocky Henkel



City of Broken Arrow

Minutes

Planning Commission

Robert Goranson Chairman
Jason Coan Vice Chairman
Jaylee Klempa Commissioner
Jonathan Townsend Commissioner
Mindy Payne Commissioner

City of Broken Arrow
220 South 1st Street
Broken Arrow, OK
74012

Thursday, October 23, 2025	5:30 p.m.	Council Chambers
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1. Call to Order

Chairman Robert Goranson called the meeting to order at 5:30 p.m.

2. Roll Call

Present: 5 - Mindy Payne, Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson

3. Old Business - NONE

4. Consideration of Consent Agenda

- A. 25-1498 Approval of Planning Commission meeting minutes of October 9, 2025
- B. 25-1503 Approval of LOT-002447-2025, Walman Lot Split, 1 lot to 2 lots 0.69 acres, CH Zoning District, located on the northwest corner of Aspen Ave (145th E Ave) and Tucson Street (121st Street)
- C. 25-1520 Approval of PT-002453-2025 | PR-000794-2025, Conditional Final Plat, The Villas at Turnberry Lot 1, Block 1 Replat, 0.84 acres, CG (Commercial General), south of Dearborn Street (41st Street), one-eighth mile west of 37th Street (209th E. Avenue)
- D. 25-1522 Approval of PT-002423-2025|PR-000843-2025, Preliminary Plat for East Broken Arrow Retail, 7.5 acres, 6 lots, CG (Commercial General) to CH (Commercial Heavy) via BAZ-002310-2025, located at the southwest corner of Kenosha Street (71st Street) and Oneta Road (241st E. Avenue)

MOTION: A motion was made by Jason Coan, seconded by Jaylee Klempa
Move to Approve Consent Agenda

The motion carried by the following vote:

Aye: 5 - Mindy Payne, Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson

5. Consideration of Items Removed from Consent Agenda - NONE

6. Public Hearings

- A. 25-1507 Public hearing, consideration, and possible action regarding COMP-002424-2025 (Comprehensive Plan Change), Arrow Forge, 99.52 acres, Levels 3, 6, and FD to Level 7 and FD, located on the south of Florence Street (111st Street) and ¼ mile east of Olive Ave (129th E Avenue)

José Jimenez, Planner II, presented Item 25-1507, a considered Comprehensive Plan Change COMP-002424-2025, a proposal to redesignate 99.52 acres south of Florence Street and a quarter-mile east of Olive Avenue for the Arrow Forge Innovation District. The request changes the property's classification from Levels 3 and 6 with Floodway/Floodplain designations to Level 7 and Floodplain Greenway, aligning with the City's long-term goal of supporting advanced industry and technology uses.

Staff explained that this adjustment would enable future rezoning to Commercial Heavy or Industrial classifications, consistent with the intent to develop the site as Broken Arrow's Innovation District—a project first supported through the 2018 General Obligation Bond. The initiative is designed to attract advanced manufacturing and technology employers, create high-wage jobs, and promote workforce development and skill-building.

Surrounding properties include agricultural and vacant land to the east, south, and west, and a mix of residential and public institutional uses to the north. While portions of the site lie within

the 100-year floodplain, water and sewer infrastructure are available.

Given the location between Olive Avenue and the Creek Turnpike and the prior voter-approved investment for the district’s infrastructure, staff recommended approval of the Comprehensive Plan amendment, subject to standard floodplain requirements.

During the discussion of the comprehensive plan amendment, commissioners raised concerns about potential semi-truck traffic associated with future industrial or logistics development at the site, especially near the school zone on Florence Street.

Staff confirmed that Level 7 land-use allows light and heavy industrial uses, which could include truck operations, but noted that the area’s location between major arterials and the Creek Turnpike should help absorb traffic without major local impacts. It was also mentioned that 111th Street has been widened to improve flow, and the area includes a school speed zone and a pedestrian beacon for students.

Commissioners reiterated safety worries about children crossing near the new apartments and school if semis increase. Staff and city engineers explained that a spine road is already being built through the southeastern corner of the site and will eventually extend east to connect with Norfolk, creating an alternate route for trucks. They also noted that Olive Avenue remains two lanes south of the turnpike, but intersection improvements and possible traffic signal installation at the district entrance are planned.

Commissioners added that the pedestrian-activated crosswalk light (hybrid beacon) design has worked well in other high-traffic school zones in Tulsa, supporting its continued use here. Overall, staff assured commissioners that traffic management, truck routing, and pedestrian safety would be addressed during later engineering and development stages.

MOTION: A motion was made by Jason Coan, seconded by Robert Goranson
Move to Approve Item 25-1507, COMP-002424-2025 (Comprehensive Plan Change), Arrow Forge, 99.52 acres, Levels 3, 6, and FD to Level 7 and FD, located on the south of Florence Street (111st Street) and ¼ mile east of Olive Ave (129th E Avenue)

The motion carried by the following vote:

Aye: 4 - Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson
Nay: 1 - Mindy Payne

B. 25-1499 Public hearing, consideration, and possible action regarding PUD-002431-2025, minor amendment to PUD-124, 9 acres, IL (Industrial Light)/PUD-124, located one-third mile south of Omaha Street (51st Street), west of Aspen Avenue (145th E. Avenue)

Mackenzie Hackett, Staff Planner, presented Item 25-1499, PUD-002431-2025, a minor amendment to PUD 124 for the Battle Creek Mini Storage site, a nine-acre property zoned Industrial Light (IL) and PUD 124, located about one-third mile south of Omaha Street and west of Aspen Avenue.

The amendment proposes a slight adjustment to the west setback, reducing it from 30 feet to 28.5 feet to accommodate existing development. No other setbacks or design standards will be changed.

Background history noted that the original PUD 124 was approved in 2000, followed by prior minor amendments in 2009 (sign modifications) and 2021 (exterior, screening, and open vehicle storage changes).

Staff confirmed the property is outside the 100-year floodplain and found the request consistent with surrounding land uses and zoning. Staff therefore recommended approval of PUD-002431-2025.

During the discussion of PUD-002431-2025, commissioners clarified that the only modification in the amendment was a reduction of the west setback from 30 feet to 28.5 feet.

Ms. Hackett confirmed this was the sole change and that all other conditions of the original PUD remained intact. She explained that the setback adjustment was needed because the applicant plans to expand two buildings along the west side of the mini-storage site, and the expansion would slightly exceed the current setback requirements.

When asked, she confirmed that no easements are being altered—only the setback line—and that the applicant, not city staff, initiated the request. City departments had no objections to the modification.

MOTION: A motion was made by Robert Goranson, seconded by Jaylee Klempa
Move to Approve Item 25-1499 PUD-002431-2025, minor amendment to PUD-124, 9

acres, IL (Industrial Light)/PUD-124, located one-third mile south of Omaha Street (51st Street), west of Aspen Avenue (145th E. Avenue

The motion carried by the following vote:

Aye: 5 - Mindy Payne, Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson

7. Appeals - NONE

8. General Commission Business

A. 25-1519 Consideration, discussion, and possible approval of 2026 Planning Commission meeting schedule

MOTION: A motion was made by Jason Coan, seconded by Mindy Payne

Move to Approve Item 25-1519 2026 Planning Commission meeting schedule

The motion carried by the following vote:

Aye: 5 - Mindy Payne, Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson

B. 25-1526 Appointment of two (2) Planning Commissioners to serve on the Downtown Master Plan Advisory Committee

Rocky Henkel, Director of Community Development, presented Item 25-1526. The City of Broken Arrow’s new Downtown Master Plan Advisory Committee has been formally established under Ordinance 3898, marking the city’s first comprehensive downtown study since 2005, which produced today’s Rose District. The upcoming plan will envision the future of downtown from 71st Street to 91st Street and from Elm Place to Lynn Lane, examining how to extend and redefine the area’s identity and opportunities.

City staff received 13 consultant proposals and will present a recommendation to the City Council in early November. The advisory committee will include 18–20 members, with representation from the City Council (two appointees each), the Planning Commission (two members), the school district, the Chamber of Commerce, the Economic Development Corporation, the City Manager, and additional local stakeholders.

The study’s primary focus is land use. Still, it will also evaluate economic development, infrastructure, and community identity—including potential expansion or creation of new districts beyond 81st Street, and the reuse of major sites such as City Hall (once it relocates to 91st & Main), Harvest Church, and the future Veterans Museum site.

The committee is expected to meet monthly for about a year, encouraging robust public engagement as it shapes the next phase of Broken Arrow’s downtown growth.

The commissioners discussed participation in the upcoming Downtown Master Plan Advisory Committee. They confirmed that its focus will include streetscapes, lighting, and overall design, though land use will remain the top priority. Commissioners noted that the study could explore renaming or creating a new district south of 81st Street, such as a “Patriot District,” as part of its broader downtown vision.

Staff explained that RFP reviews and contract selection are underway, with committee meetings expected to begin in December or January. Commissioners Mindy Payne and Jaylee Klempa both volunteered and were nominated to serve on the committee. The group agreed they would provide regular progress updates to the Planning Commission once meetings begin.

MOTION: A motion was made by Jason Coan, seconded by Jonathan Townsend

Move to Approve Item 25-1526 Appointment of two (2) Planning Commissioners, Mindy Payne and Jaylee Klempa, to serve on the Downtown Master Plan Advisory Committee

The motion carried by the following vote:

Aye: 5 - Mindy Payne, Jonathan Townsend, Jaylee Klempa, Jason Coan, Robert Goranson

9. Remarks, Inquiries, and Comments by Planning Commission and Staff (No Action)

During the closing discussion, Planning Commissioner Mindy Payne asked for an update on the New Orleans Square Overlay District, and Mr. Henkel explained that the Council recently held individual meetings with members to review it. Feedback from those sessions indicated the overlay has become too restrictive for developers, citing examples such as the McDonald’s rebuild project that couldn’t meet current criteria despite being an existing use. Staff will now review the entire overlay for possible revisions or repeal and present recommendations to both the Planning Commission and City Council.

Mr. Henkel also confirmed that the subdivision regulations update remains in progress and will return to the Commission once revisions are complete.

Mr. Henkel introduced Jane Wyrick, the new Planning & Development Manager, and Rebecca Blaine, the new Planning Section Manager, both with prior experience in Shawnee, Newcastle, and Guthrie. Commissioners praised the strengthened planning team and discussed the late delivery of meeting agendas, noting that it limits their ability to review materials or visit sites beforehand.

The issue was acknowledged, and staff are working to meet the goal of distributing agendas by the Friday before meetings, now that the department is fully staffed. Rocky Henkel suggested sending draft agendas as a backup and emphasized the importance of holding applicants to submission deadlines. The exchange ended on a humorous note, with appreciation for the team’s collaboration and good spirits.

10. Adjournment

The meeting was adjourned at 6:00 p.m.

MOTION: A motion was made by Jason Coan, seconded by Robert Goranson

Move to Adjourn

The motion carried by the following vote:

Aye: 3 - Jonathan Townsend, Jason Coan, Robert Goranson
Nay: 2 - Mindy Payne, Jaylee Klempa



City of Broken Arrow

Request for Action

File #: 25-1570, **Version:** 1

**Broken Arrow Planning Commission
11-06-2025**

To: Chairman and Commission Members
From: Community Development Department
Title:

Public hearing, consideration, and possible action regarding SP-002459-2025 (Specific Use Permit), Harvest Church, 6.58 acres, AG (Agricultural) to CG (Commercial General) via BAZ-002238-2025, located at the northwest corner of New Orleans Street (101st Street) and 9th Street (177th E. Avenue/Lynn Lane Road)

Background:

Applicant: Route 66 Engineering
Owner: Harvest Church
Developer: Harvest Church
Engineer: N/A
Location: Northwest corner of New Orleans Street (101st Street) and 9th Street (177th E. Avenue/Lynn Lane Road)
Size of Tract 6.58 acres
Number of Lots: 1
Present Zoning: AG (Agricultural) to CG (Commercial General) via BAZ-002238-2025
Comp Plan: Level 4 Commercial/Employment Nodes

SP-002459-2025 is a request for a Specific Use Permit for a place of assembly. The property is located at the northwest corner of New Orleans Street (101st Street) and 9th Street (177th E. Avenue/Lynn Lane Road).

On June 26, 2025, Planning Commission heard a request to rezone this property from AG (Agricultural) to CG (Commercial General), which was approved by City Council on July 14, 2025. A portion of the property is intended for use as a place of worship, which is allowed in the CG zoning district with a specific/conditional use permit.

Surrounding land uses and zoning classifications include the following:

North:	AG	Large Lot Residential
West:	RS-C	Single Family Residential
South:	RS/AG	Large Lot Residential
East:	CG/PUD-002428-2025	Vacant/Utility Facility

According to the FEMA Maps, this property is not located within the 100-year floodplain.

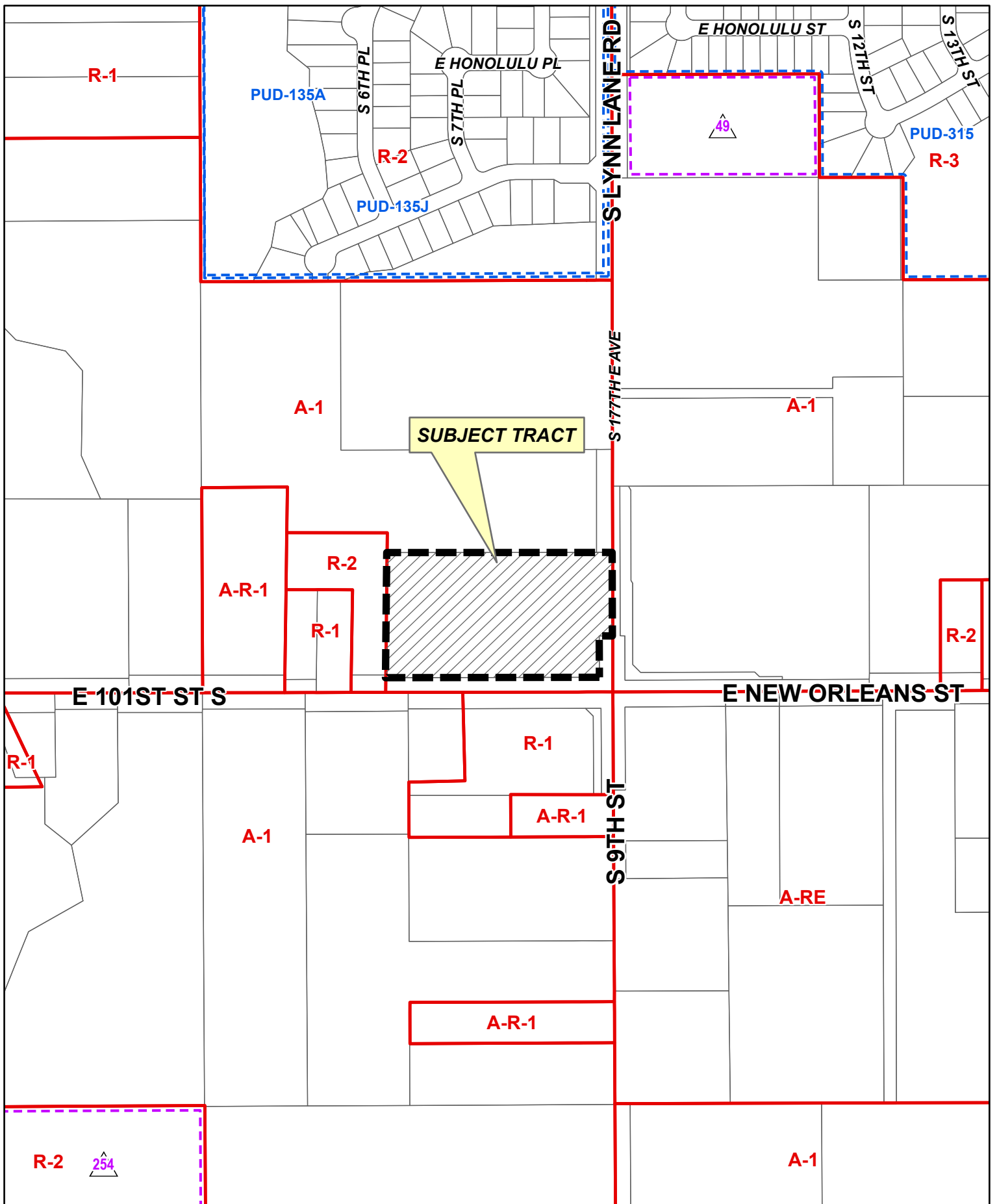
Attachments: Case map
Aerial map
Conceptual Site Plan

Recommendation:

Based on the Comprehensive Plan, the location of the property, and the surrounding land uses, Staff recommends that SP-002459-2025 be approved as presented.

Reviewed By: Jane Wyrick

Approved By: Rocky Henkel

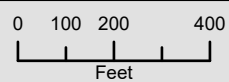


300' Radius



Subject
Tract

SP-002459-2025



23 18-14



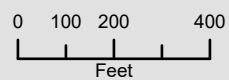


Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: 2024



Subject
Tract

SP-002459-2025



23 18-14



Vexcel Imaging

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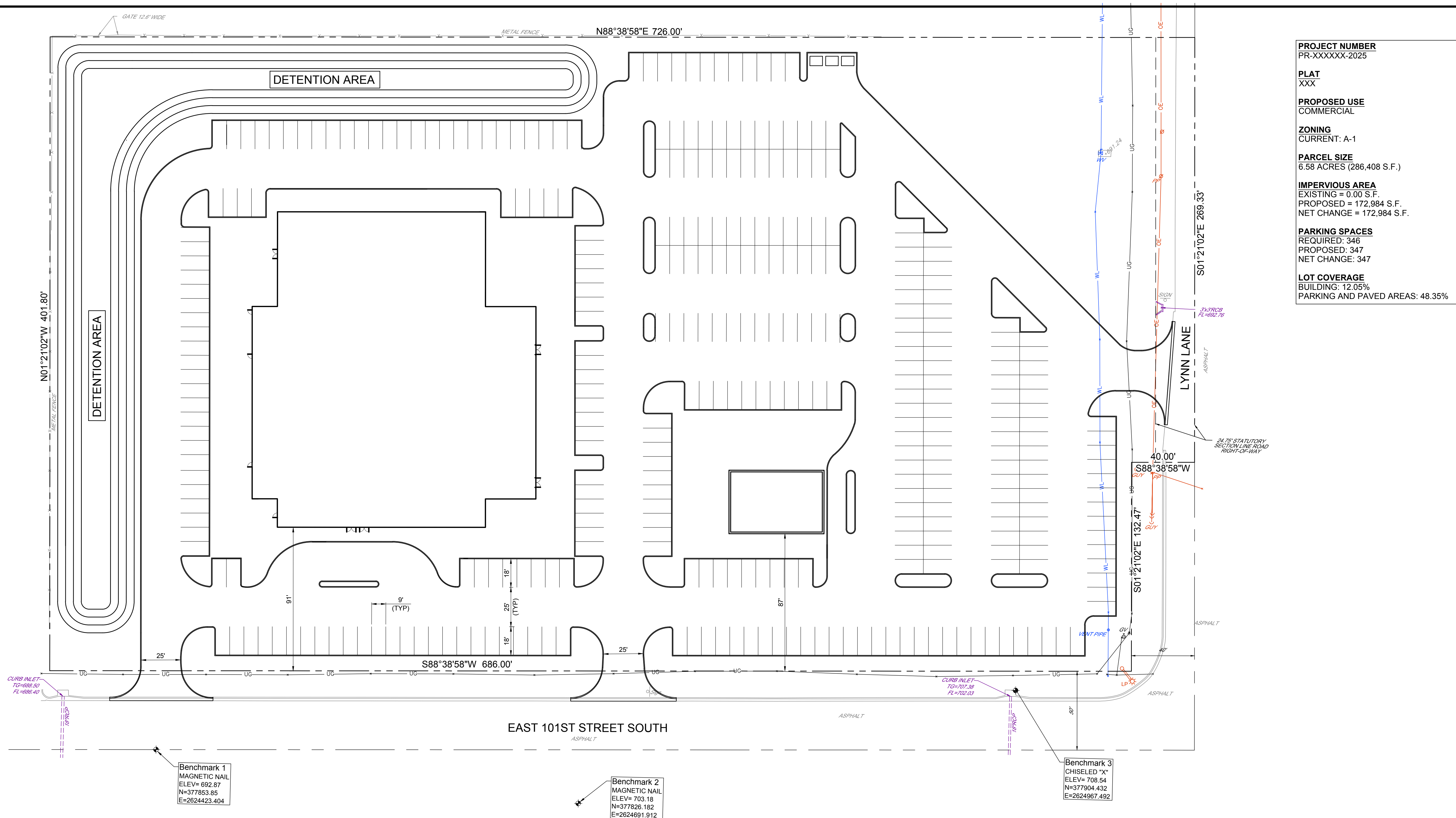
RT66
ENGINEERING
5 SOUTH MAIN STREET,
SAPULPA, OK 74066

SITE PLAN

HARVEST CHURCH
BROKEN ARROW, OKLAHOMA

DRAWN BY:	CN
APPV. BY:	BD
DATE:	08/19/2025

CS101
SHEET



1. THE CONTRACTOR SHALL CONTACT "OKIE" AT 811 OF 800-522-6543, THREE (3) WORKING DAYS BEFORE BEGINNING ANY WORK, SO EXISTING UNDERGROUND UTILITIES CAN BE LOCATED AND MARKED.
2. EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. SIDEWALK EXPANSION JOINTS SHALL BE PLACED IN ACCORDANCE WITH DETAIL.
4. ALL CONSTRUCTION AND METHODS TO BE IN STRICT ACCORDANCE WITH CURRENT AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND DETAILS.
5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB DURING CONSTRUCTION OF ALL PERSONNEL SAFETY DURING THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. MAINTAIN ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
6. THIS SET OF CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED AS A WHOLE IN THAT THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INFORMATION PRESENTED ON ALL SHEETS OF THIS SET OF DRAWINGS.
7. CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ANY REQUIRED STATE OR LOCAL PERMITS. CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE. AS NECESSARY, TO RETURN IT TO THE EXISTING CONDITION OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
9. CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES PER THE EROSION CONTROL PLAN.
10. THE CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
11. ALL PAVEMENT MARKING OF STRIPES TO BE 4" WIDE, WHITE AND APPLIED IN TWO COATS, UNLESS OTHERWISE NOTED, RE: SPECIFICATIONS.
12. PARKING LOT STRIPING AND REQUIRED ADA ACCESSIBLE AISLES SHOWN ON PLAN SHALL BE MARKED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
13. ALL NEW SIDEWALKS, IF ANY, NOT ADJACENT TO THE BUILDING, SHALL BE 4" THICK AND A MINIMUM OF FOUR (4) FEET WIDE. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH WITH A MAXIMUM CROSS SLOPE OF TWO PERCENT. TRANSVERSE CONTRACTION JOINTS SHALL MAINTAIN AN EQUAL SPACING WITH THE SIDEWALK WIDTH. SIDEWALK EXPANSION JOINTS SHALL NOT EXCEED 40 FOOT SPACING UNLESS OTHERWISE NOTED.

1. ANY REQUEST BY THE GOVERNING AUTHORITY OR INSPECTOR TO ALTER ADA COMPLIANCE DETAILS OR REQUIREMENTS DEPICTED ON AND IN THESE PLANS AND SPECIFICATIONS MUST BE DIRECTED TO THE OWNER'S CONSTRUCTION MANAGER FOR AUTHORIZATION. ANY CHANGES MADE WITHOUT PROPER AUTHORIZATION AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN ON AND IN THESE PLANS AND SPECIFICATIONS WILL BE REMOVED AND REPLACED TO BE MADE FULLY COMPLIANT, REGARDLESS OF MAGNITUDE, AT THE CONTRACTOR AND/OR SUB-CONTRACTOR'S EXPENSE. THE CONTRACTOR MUST FOLLOW THE "REQUEST FOR INFORMATION" (RFI) PROCESS IN ACQUIRING THE APPROVAL OF CHANGES TO ADA RELATED ITEMS.
2. ALL NEW SIDEWALKS OR ADA PATHS (SIDEWALKS TO BE REMOVED & REPLACED OR STRIPED ADA PATHS) SHALL NOT EXCEED 2% CROSS SLOPE & 5% RUNNING SLOPE. FOR SIDEWALKS CONTAINED WITHIN THE PUBLIC R/W AND WHEN ADJACENT STREET GRADES EXCEED 5%, THEN SIDEWALK RUNNING SLOPES MAY MATCH STREET GRADES.
3. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.
4. PRIVATE PROPERTY RAMPS SHALL HAVE THE FACE OF THE CURB TRANSITIONS PAINTED YELLOW.
5. ALL ADA PARKING AREAS SHALL BE 2% MAXIMUM IN ALL DIRECTIONS.

1. TRAFFIC CONTROL MEASURES SHALL BE IN-ACCORDANCE WITH CITY AND THE LATEST VERSION OF THE MUTCD.
2. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT.
3. CONTRACTOR SHALL PROVIDE AND INSTALL 4 INCH PVC SLEEVES FOR FUTURE UTILITY CROSSINGS UNDER NEW PAVEMENT. VERIFY CONDUIT LOCATIONS WITH IRRIGATION, ALL UTILITY COMPANIES, AGENCIES OR ENGINEER SUPPLYING FUTURE SERVICES.
4. ALL TRENCH BACKFILL FOR OPEN CUT PAVEMENT AREAS SHALL BE BACKFILLED FULL DEPTH WITH AGGREGATE BASE MATERIAL AND COMPACTED IN 9 INCH LIFTS TO 95% STANDARD PROCTOR DENSITY TO THE BOTTOM OF SURFACE PAVEMENT.



City of Broken Arrow

Request for Action

File #: 25-1573, Version: 1

**Broken Arrow Planning Commission
11-06-2025**

To: Chair and Commission Members
From: Community Development Department
Title:

Public hearing, consideration, and possible action regarding PUD-002465-2025, major amendment to PUD-193, 17.14 acres, IL (Industry Light) and PUD-193, located approximately ½ mile south of Washington Street (91st Street) and approximately ½ mile east of Evans Road (225th E Avenue)

Background:

Applicant: Justin DeBruin, Wallace Design Collective

Owner: Karl Graham, Luminus Capital

Developer: NA

Engineer: Wallace Design Collective

Location: Located approximately ½ mile south of Washington Street (91st Street) and approximately ½ mile east of Evans Road (225th E Avenue)

Size of Tract 17.14 acres

Present Zoning: IL (Industry Light) and PUD-193

Proposed Zoning: IL (Industry Light) and PUD-002465-2025

Comp Plan: Level 6 (Regional Employment/Commercial)

PUD-002465-2025 is a major amendment to PUD-193. The property is located approximately ½ mile south of Washington Street (91st Street) and approximately ½ mile east of Evans Road (225th E Avenue).

PUD-002465-2025 proposes to amend the allowed use types for the eastern portion of PUD-193. This amendment would remove the exclusion for outdoor storage and include it as an allowed use. The Allowed Uses Table within the Broken Arrow Zoning Ordinance designates Storage Yard as a permitted use within the IL zone. All other provisions of PUD-193 shall remain in effect as previously approved.

According to FEMA maps, none of the property is located in the 100-year floodplain. Water and sanitary sewer are available from the City of Broken Arrow.

Attachments: Case Map
Aerial Map
Design Statement and Exhibits

Recommendation:

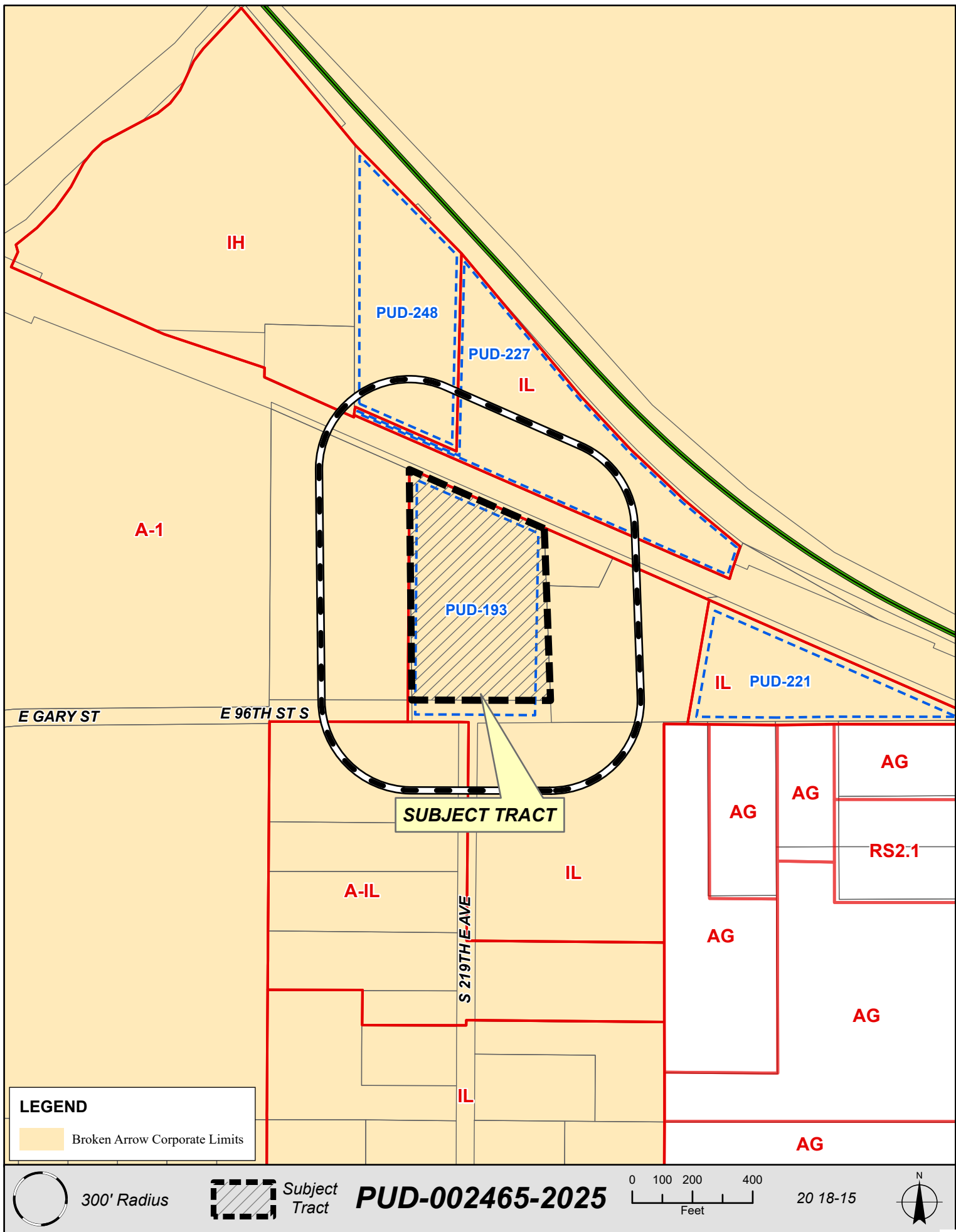
Based upon the location of the property, and the surrounding land uses, Staff recommends that PUD-002465-2025 be approved.

Reviewed by: Jane Wyrick

Approved by: Rocky Henkel

JAJ

[Click here to enter text.](#)



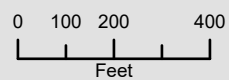


Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: 2023



Subject
Tract

PUD-002465-2025



20 18-15



Coach Port

PUD Major Amendment

PUD-002465-2025

21801 E. 96th St. S.
Broken Arrow, OK 74133

PUD-193

September 29, 2025

Submitted to:

The City of Broken Arrow, Oklahoma

On Behalf of:



1637 S. Boston Ave. Ste. 1
Tulsa, OK 74119

APPLICANT:



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design

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	d. Exhibit D – Adjacent Land Use	
	e. Exhibit E – Zoning Map	
	f. Exhibit A-2 – Conceptual Site Plan (updated)	

I. DEVELOPMENT CONCEPT AND CHARACTER

Coach Port is a proposed development for a travel trailer storage facility submitted as a Planned Unit Development (PUD) pursuant to the provisions of the Broken Arrow Zoning Code. The site is an approximately 17.14-acre parcel of land located immediately west of Venture 777 property. It is bounded on the east by Venture 777, and on the South by East 96th Street. On the west the development is bounded by vacant land and on the north by the MKT railroad. The site has approximately 352.8' of street frontage along E. 9th St.

The proposed development will consist of 147 storage units contained in 13 buildings. A Conceptual Development Plan for the project is shown on Exhibit "A".

This development will consist of approximately 91,375 square feet of storage area. The building exterior will consist of metal construction, unless modified by the Planning Commission. The exterior elevations of the buildings will be submitted to the city when design is available.

In order to screen the facility from the highway, we are proposing an 8' wood privacy fence along the northern boundary. Site lighting will be provided in accordance with the requirements of the City of Broken Arrow.

The subject PUD Major Amendment is intended to eliminate the restriction upon outdoor storage of materials or vehicles for Block 1, Lot 1 Coach Port Addition. This platted lot represents the eastern 7.18 acres as depicted in PUD 193. Exhibit A, Conceptual Site Improvement Plan, shows four proposed indoor storage facilities; However, the new Conceptual Site Plan (Exhibit A-2), removes these four proposed facilities and replaces the space with outdoor, gravel storage spaces.

Per Table 3.1-1, Table of Allowed Uses, outdoor storage / storage yard is an allowed use in the IL district, the subject underlying zoning. As the subject lot is internal to the PUD boundary, adjacent land is currently zoned IL, with the Union Pacific Railroad being a boundary on the north side of the property.

II. LANDSCAPING AND SCREENING

The Coach Port landscaping plan will be designed to enhance the East 96th Street frontage, and to create an attractive view from State Highway 51. The planting theme will highlight the site entries and buildings, and will utilize plant selections indigenous to North East Oklahoma that are durable and require low maintenance. All landscaping shall be provided in accordance with the Zoning Ordinance except as noted herein. Any landscape material that fails shall be replaced in accordance with Chapter 5, Section 5.3, of the Zoning Ordinance.

In order to screen the facility from the highway, we are proposing an 8' tall wood privacy fence along the northern boundary. In addition, an 8' high opaque fence will be installed along the east boundary. The buildings can be used as part of the screening along the east boundary with the fence located between the buildings.

A 20' wide landscape area shall be provided along the east boundary. In this area, at least one evergreen tree shall be planted per 50 lineal feet.

The frontage along East 96th Street will have a ten (10') foot wide landscaped edge between the parking and the street right-of-way. The landscape area will be planted with trees and shrubs that meet or exceed the requirements of the Broken Arrow Zoning Code. In addition, at least one tree per 50 lineal feet of landscaped edge shall be installed in this area, and at least one half of the trees shall be evergreen. The minimum landscaping provided will be 10%.

All trees will be selected from the approved tree list contained in the Broken Arrow Zoning Code; trees required by code will be planted at a minimum size of 2" caliper. Shrubs required by code will be planted with a minimum 3-gallon container size. All landscape areas will be irrigated with an underground sprinkler system, and maintained per requirements of the Broken Arrow Zoning Code.

III. DEVELOPMENT STANDARDS

This PUD shall be governed by the use and development regulations of the IL District of the Broken Arrow Zoning Ordinance except as follows:

Permitted Uses	Travel Trailer or Recreational Vehicle
Permitted Uses (Amended)	Indoor Storage Facility Outdoor storage
Zoning Classification	IL / PUD
Net Development Area	17.14 Acres (746,618.4 sf)
Net Development Area (subject amendment)	7.18 Acres (312,760.8 sf)
Minimum Lot Area	0.28 Acres (12,000 sf)
Maximum Floor Area Ratio Per Lot	0.50
Minimum Lot Frontage	50' (along public street)
Minimum Building Setback:	
From ROW line of E. 96 th St.	50'
East & West boundary of PUD	20'
From ROW line of KKT Railroad	30'
Internal Lot Line	10'
Minimum Distance between buildings	30'
Maximum Building Height	50'
Free Standing Signage	*
Parking Ratio	1 space per 50 vehicles stored

*All signs shall comply with City of Broken Arrow Zoning Ordinance.

There shall be no outdoor storage of materials or vehicles, aside from Block 1, Lot 1 Coach Port – PUD 193 Addition.

IV. DETAIL SITE PLAN REVIEW

A Detailed Site Plan shall be submitted to and approved by the City of Broken Arrow prior to the issuance of a Building Permit. The applicant shall submit the Site Plan to the City and supply all information required. All trash dumpsters shall be screened in accordance with the Zoning Ordinance.

V. GRADING & UTILITY PLANS

A Site Grading & Utility Plan will be submitted to the City of Broken Arrow for approval. The Conceptual Drainage Plan is shown on Exhibit B. The storm water from various on-site drainage areas will be conveyed downstream toward a detention pond to be constructed on site.

The Conceptual Site Utility Plan is shown on Exhibit C. All utilities are available to serve this development. Drainage and Utility plans will be prepared in accordance with the City of Broken Arrow Engineering requirements.

VI. ACCESS AND CIRCULATION

Ingress and egress to Coach Port will be from East 96th Street. The minimum separation distance between driveway centerlines is 250’.

VII. EXTERIOR SITE LIGHTING

All exterior site lighting shall be in strict accordance with the City of Broken Arrow requirements.

VIII. SCHEDULED DEVELOPMENT

Upon approval of the building permit by the City of Broken Arrow, the developer will commence construction of Phase I. Specific timing of Phase II will be determined by market-driven sales.

IX. LEGAL DESCRIPTION

A tract of land in the Southwest quarter of the Northeast quarter (SW/4 NE/4) of Section Twenty (20), Township eighteen (18) north, Range fifteen (15) east of the Indian Base & Meridian, Wagoner County, State of Oklahoma, according to the U.S. government survey thereof, being more particularly described as follows to wit:

Beginning at the Southwest corner of said NE/4; thence N00°07'45" W along the Westerly line thereof a distance of 1036.64 feet to a point on the Southerly right-of-way line of the MK&T Railroad; thence S67°02'44" E along said line a distance of 986.82 feet to the Northwest corner of Venture 777, an addition in Wagoner County, State of Oklahoma according to the recorded plat thereof; thence S00°07'45" E along the West line of said Venture 777 a distance of 577.79 feet to the Southwesterly corner thereof; thence N89°56'10" W a distance of 277.83 feet; thence S00°08'41" E a distance of 75.00 feet; to a point on the Southerly line of said SW/4 NE/4; thence N89°56'10" W along said line a distance of 630.00 feet to the point of beginning.

The subject PUD Amendment is limited to the following:

Block 1, Lot 1 Coach Port Addition.

X. EXHIBITS

EXHIBIT A – CONCEPTUAL SITE IMPROVEMENT PLAN

EXHIBIT B – CONCEPTUAL DRAINAGE PLAN

EXHIBIT C – CONCEPTUAL SITE UTILITY PLAN

EXHIBIT D – ADJACENT LAND USE

EXHIBIT E – ZONING MAP

EXHIBIT A-2 – CONCEPTUAL SITE PLAN (UPDATED)

EXHIBIT A

CONCEPTUAL SITE IMPROVEMENT PLAN

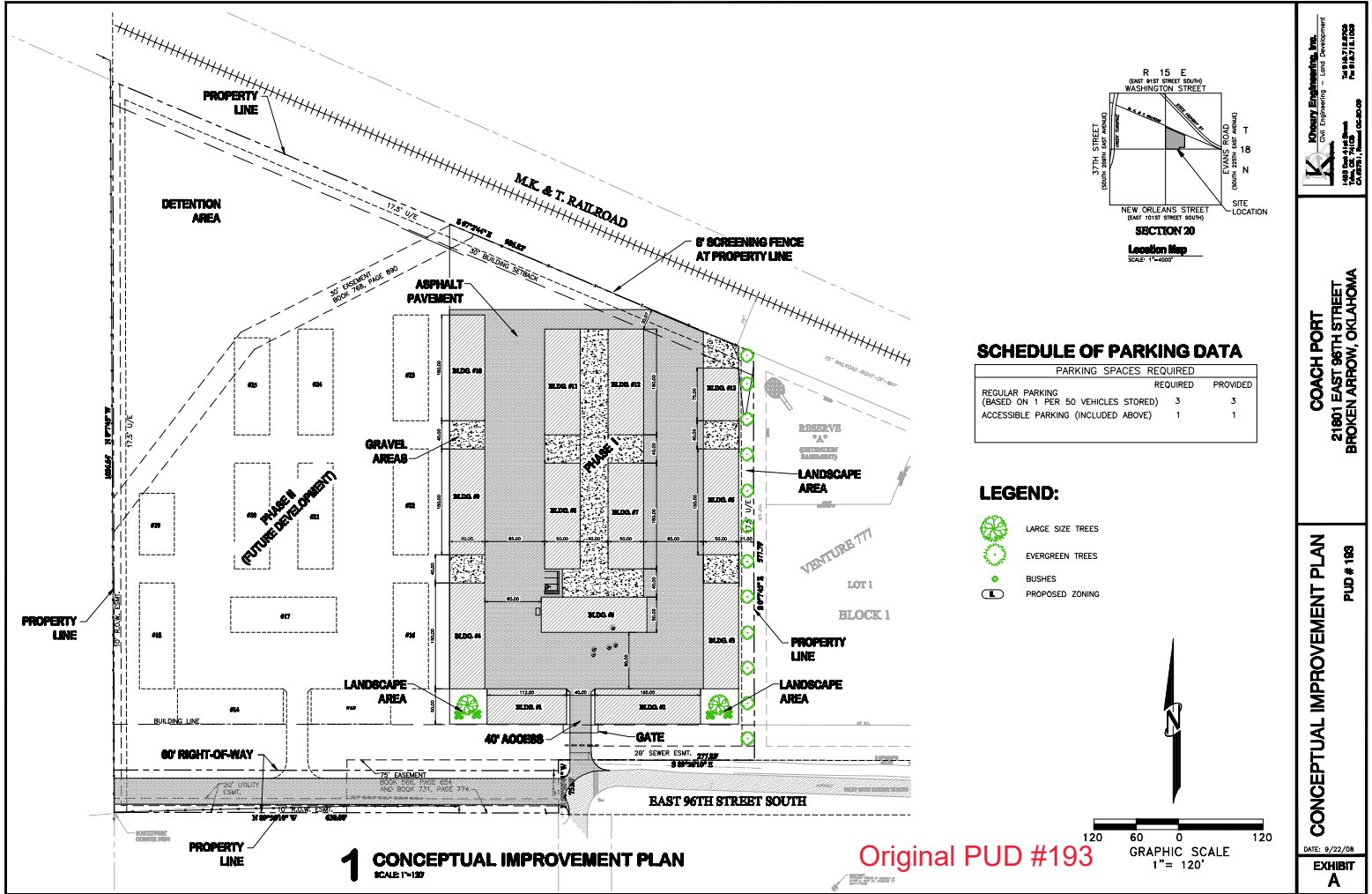
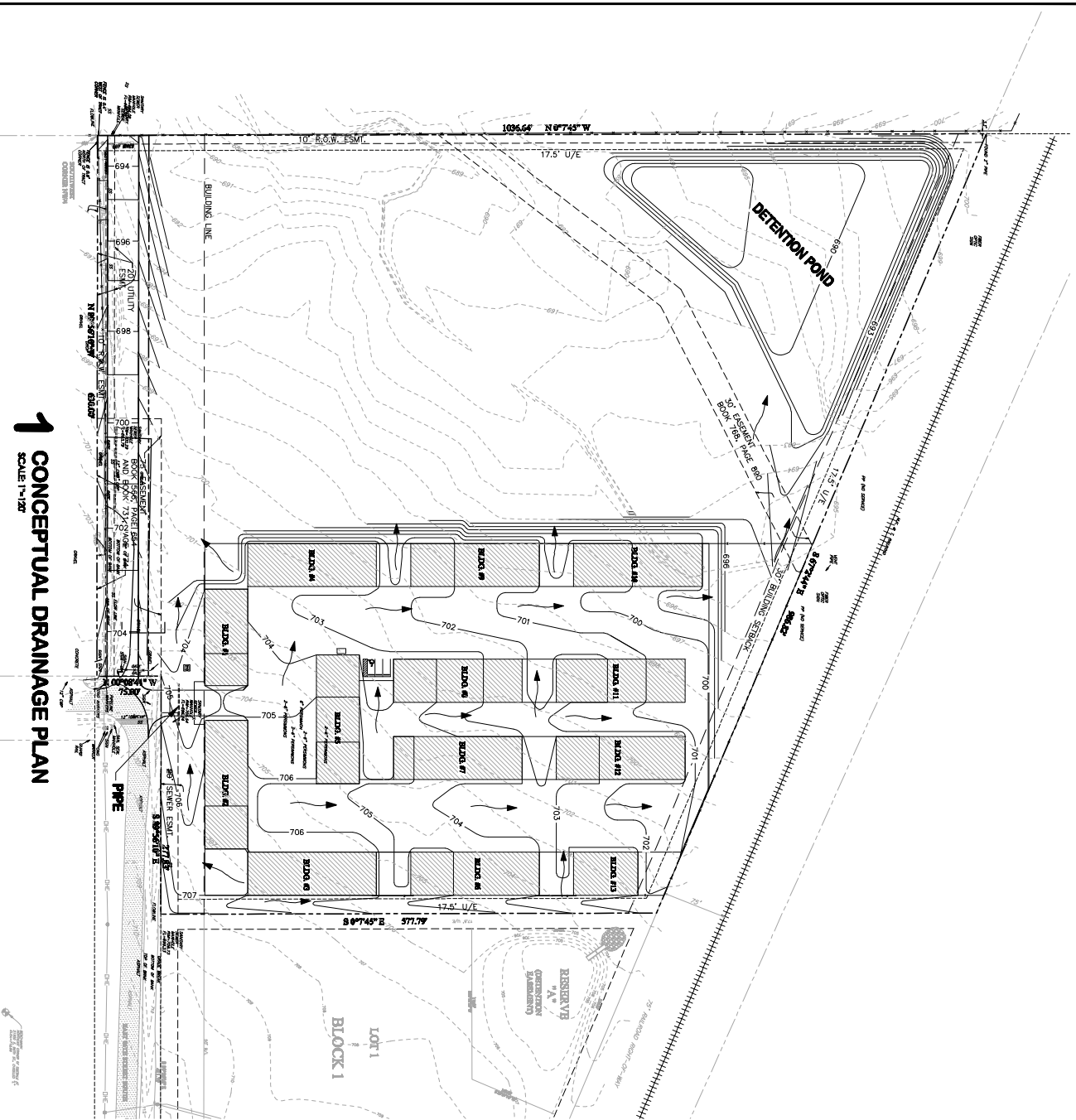


EXHIBIT B

CONCEPTUAL DRAINAGE PLAN



1 CONCEPTUAL DRAINAGE PLAN
SCALE 1"=120'

- LEGEND:**
- 000 — PROPOSED CONTOURS
 - - - - - EXISTING CONTOURS
 - FLOW ARROWS

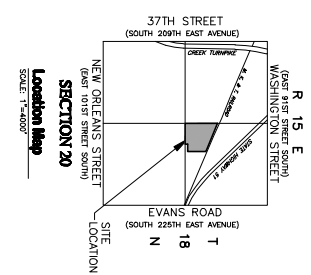
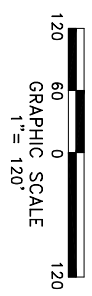
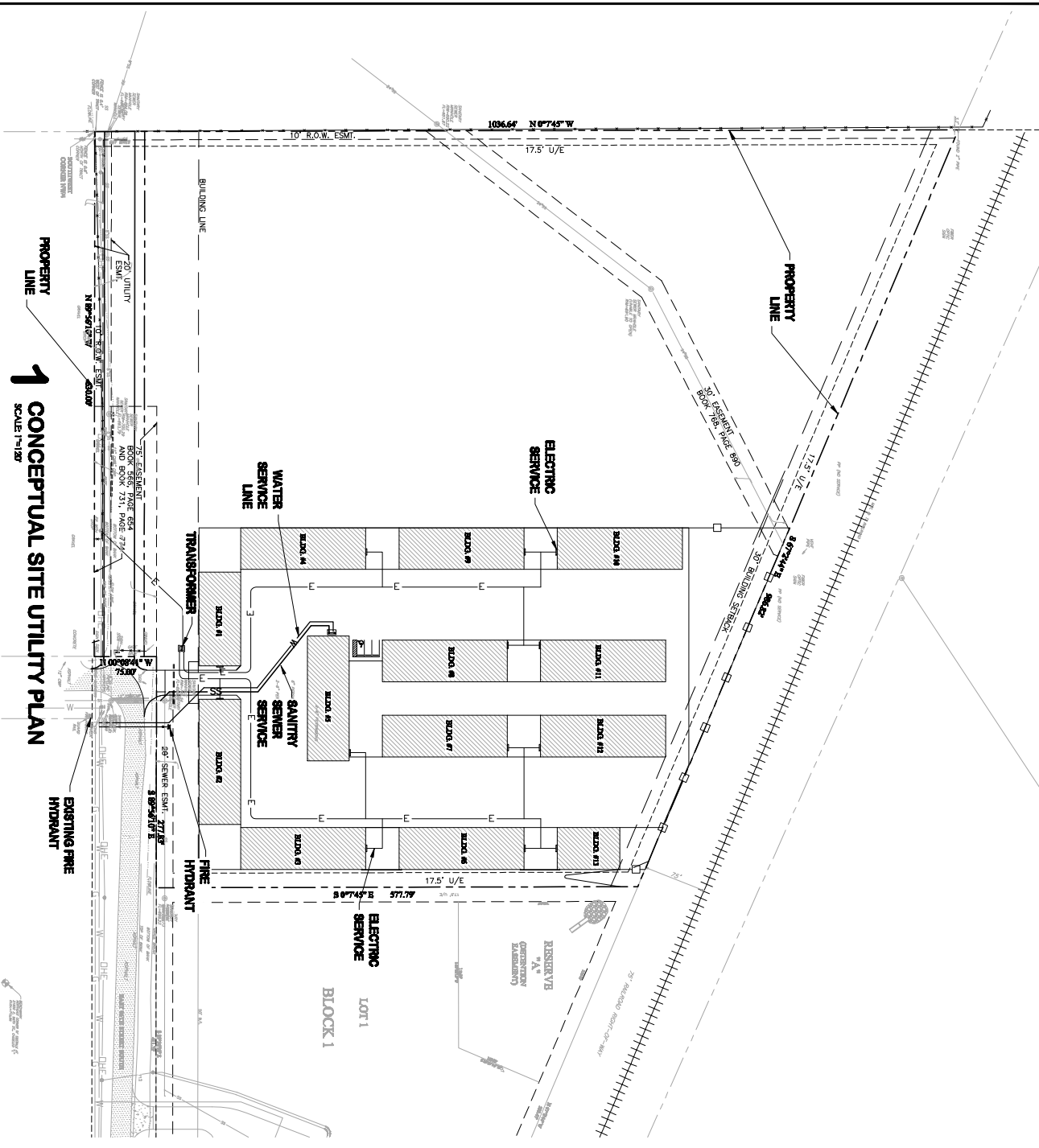
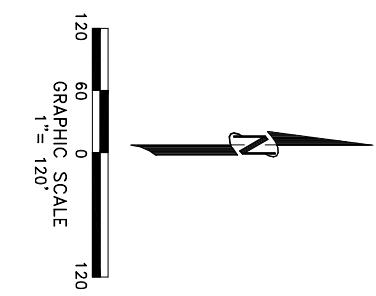


EXHIBIT C

CONCEPTUAL SITE UTILITY PLAN



1 CONCEPTUAL SITE UTILITY PLAN
SCALE 1"=120'



- LEGEND:**
- SS — PROPOSED SANITARY SEWER
 - E — PROPOSED ELECTRIC
 - W — PROPOSED WATER LINE
 - SS — PROPOSED FIRE HYDRANT
 - SS — EXISTING SANITARY SEWER
 - W — EXISTING WATER LINE

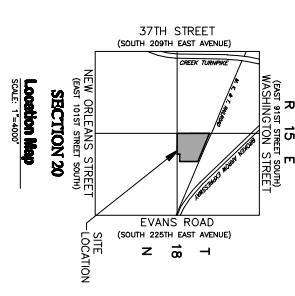
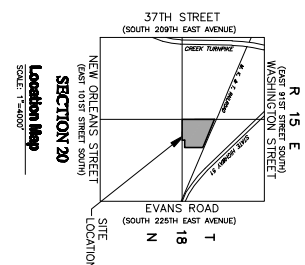
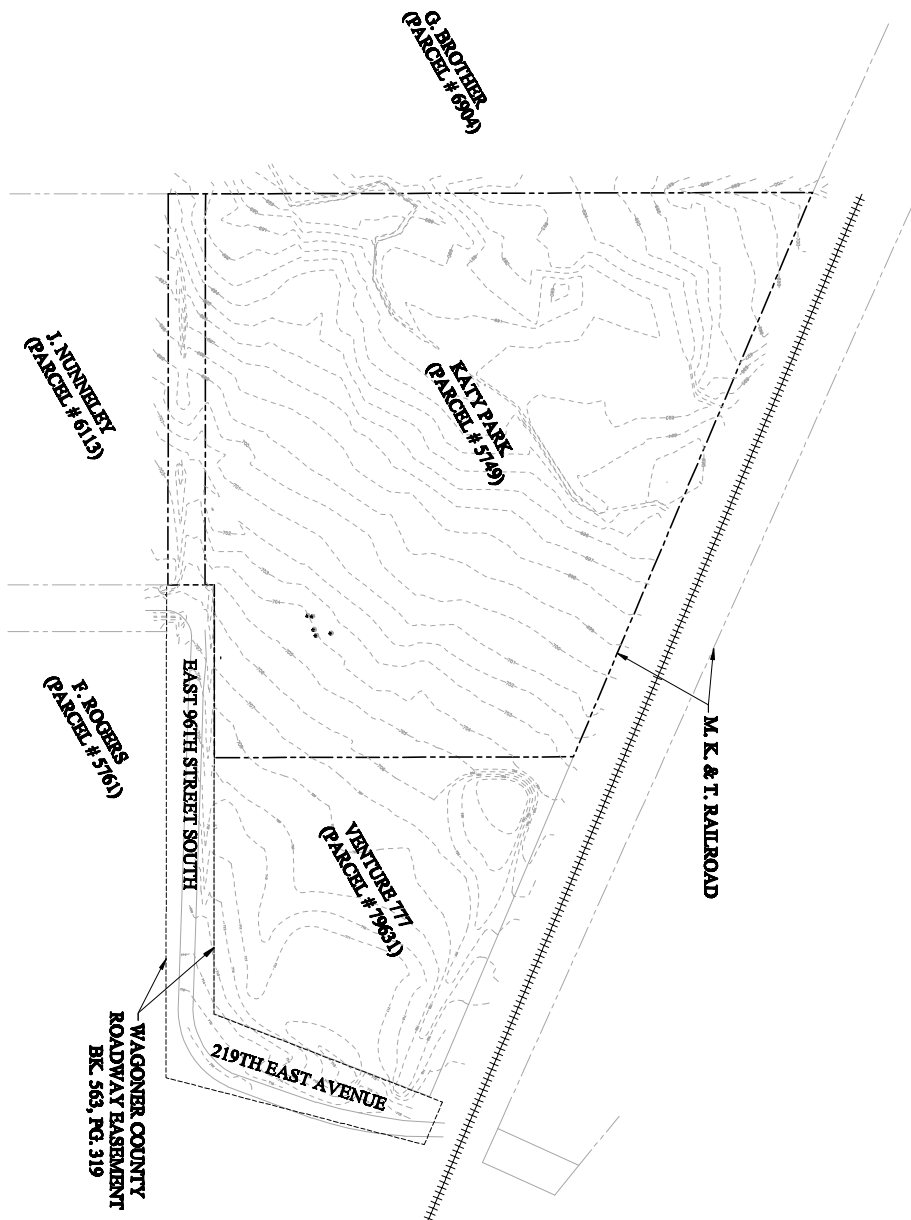


EXHIBIT D

ADJACENT LAND USE

1 ADJACENT LAND USE

SCALE 1"=200'



DATE: 9/23/08
EXHIBIT D

ADJACENT LAND USE
Original PUD #193 PUD # 193

COACH PORT
21801 EAST 96TH STREET
BROKEN ARROW, OKLAHOMA

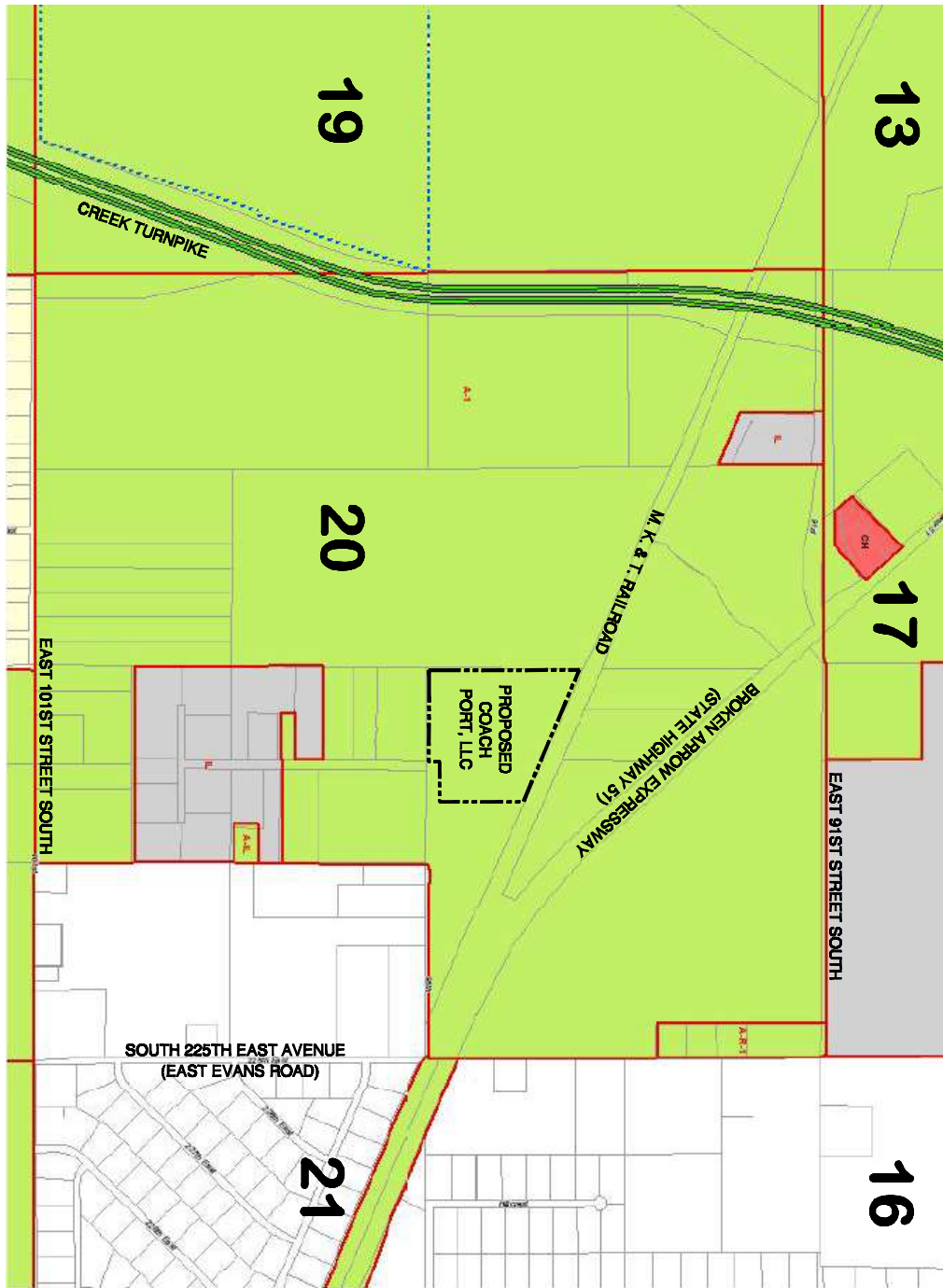
Kheury Engineering, Inc.
Civil Engineering - Land Development

1485 East 41st Street
Tulsa, OK 74105
CA 49751, Formed 06-30-09

Tel 918.712.8760
Fax 918.712.1069

EXHIBIT E

ZONING MAP



1 ZONING MAP
SCALE 1"=800'

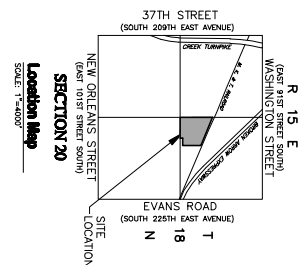
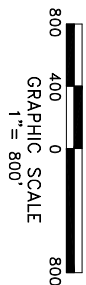


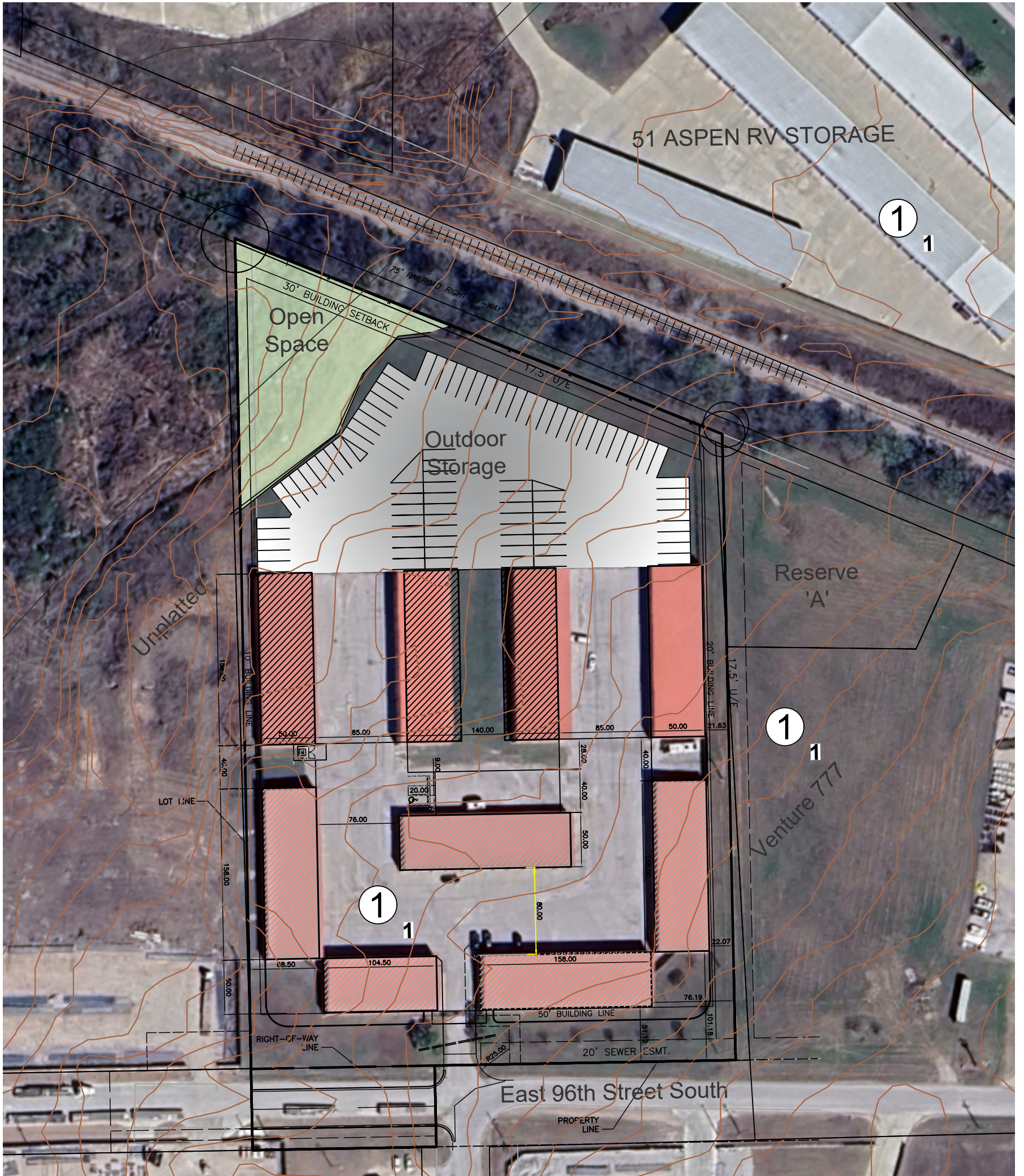
EXHIBIT A-2
Conceptual Site Plan (Updated)

EXHIBIT 'A-2'

CONCEPTUAL SITE PLAN

CLICK STORAGE

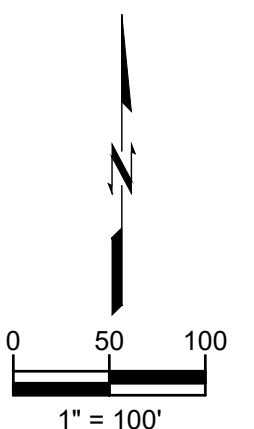
PUD-193-A



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. blvd.
tulsa, oklahoma 74103
918.584.5858
oklahoma ca1460
exp: 6-30-25

Date: Sept. 29, 2025





City of Broken Arrow

Request for Action

File #: 25-1568, **Version:** 1

**Broken Arrow Planning Commission
11-06-2025**

To: Chairman and Commission Members
From: Community Development Department
Title:

Approval of a modification to Section 4.1(t) of the Land Subdivision Code for IOS Land Company, approximately 40 acres, IL (Industrial Light)/PUD (Planned Unit Development) 001521-2024, north of Houston Street (81st Street), one-quarter mile west of 23rd Street (193rd E. Avenue/County Line Road)

Background:

This request is for a modification to Section 4.1(t) of the Land Subdivision Code for IOS Land Company, located north of Houston Street (81st Street), one-quarter mile west of 23rd Street (193rd E. Avenue/County Line Road). This property is currently in the process of being platted and is zoned IL (Industrial Light)/PUD-001521-2025.

IOS Land Company is proposing Right-of-Way through their property that will eventually connect to the property to the north, which is zoned IL (Industrial Light)/PUD-289. This thru street will facilitate industrial traffic flow to Houston Street from both properties. IOS Land Company proposes to end their half of the street in a cul-de-sac until such time as the entire street can connect through.

Section 4.1(t) of the Land Subdivision Code limits the lengths of streets ending in a cul-de-sac to 550' unless the Planning Commission grants permission for a longer street. The length of the street needed to reach the property to the north is 1215'.

On behalf of the property owner, city staff request a modification to Section 4.1(t) of the Land Subdivision Code to increase the maximum cul-de-sac length from 550' to 1215' for this property.

Attachments: Exhibit

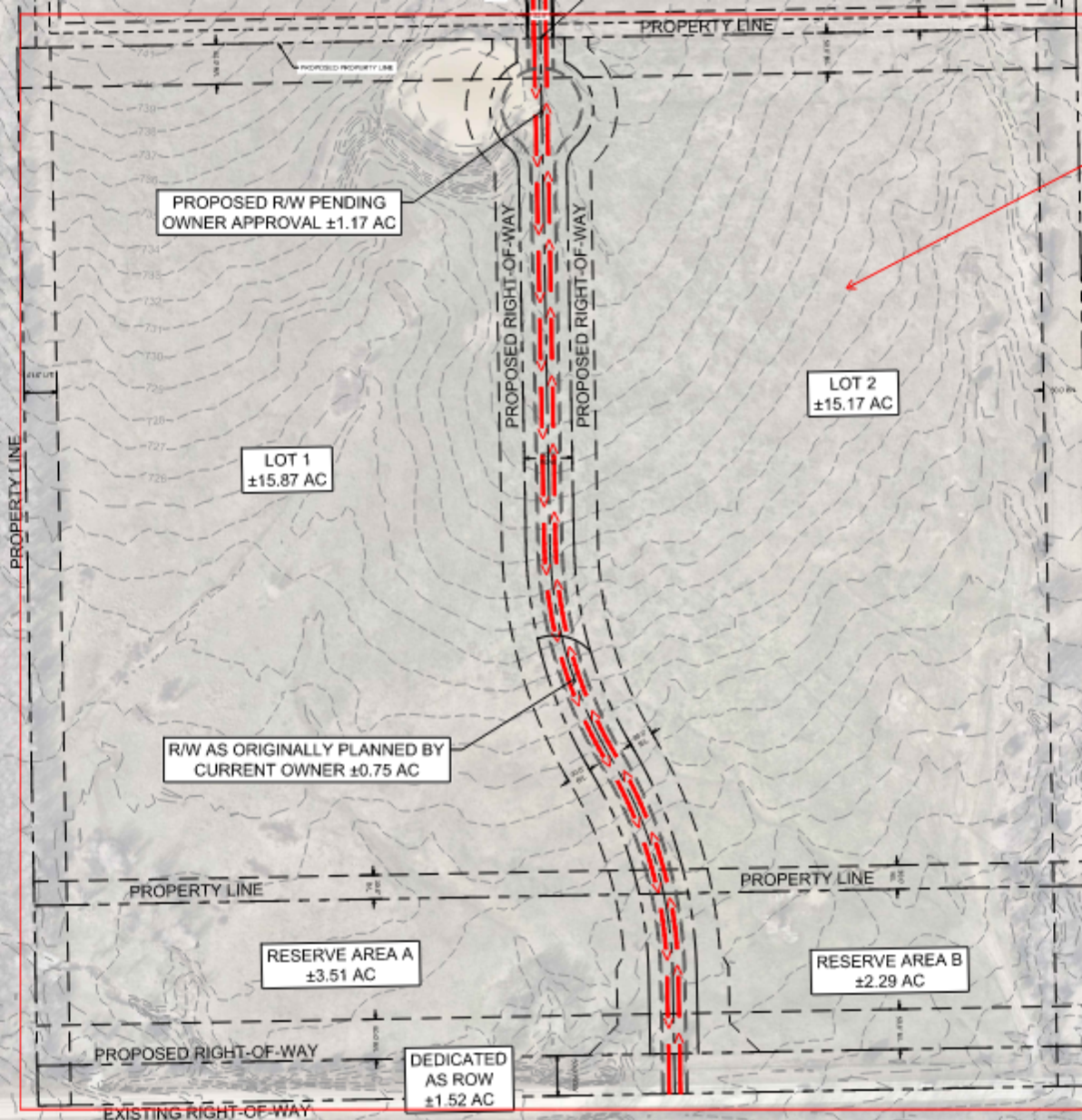
Recommendation:

Staff recommends the modification to Section 4.1(t) of the Subdivision Regulations be approved for IOS Land Company.

Reviewed by: Jane Wyrick

Approved by: Rocky Henkel

MEH



**SUBJECT
PROPERTY**

E 81ST ST S