



**City of Broken Arrow  
Meeting Agenda  
Board of Adjustment**

City of Broken Arrow  
Council Chambers  
220 S 1st Street  
Broken Arrow OK  
74012

*Judd Hatch Chairman  
Rebecca Hinkle Vice Chair  
Kamara Washington Board Member  
George Ghesquiere Board Member  
Michelle Bergwall Board Member*

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**Monday, January 12, 2026**

**5:00 PM**

**Council Chambers**

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**1. Call to Order**

**2. Roll Call**

**3. Consideration of Consent Agenda**

[26-153](#) Approval of Board of Adjustment meeting minutes of January 22, 2025

**Attachments:** [1.22.2025 Minutes](#)

[26-154](#) Approval of Board of Adjustment meeting minutes of October 13, 2025

**Attachments:** [1.22.2025 Minutes](#)

**4. Public Hearings**

[26-152](#) Public hearing, consideration, and possible action regarding VAR-002576-2025, TFCU, approximately 1.37 acres, CG (Commercial General), request a variance from Highway Design Overlay District orientation regulations, located approximately one-third mile north of West Tucson Street (121st Street), and just east of South Aspen Avenue (145th East Avenue)

**Attachments:** [2 - Case Map](#)

[3 - Aerial](#)

[4 - Current Site Plan](#)

[5 - Applicant Letter](#)

[6 - Site Images](#)

**5. General Board Business**

**6. Remarks, Inquiries, and/or Comments by the Board and/or Staff (No Action)**

**7. Adjournment**

**NOTICE:**

- 1. IF YOU HAVE A DISABILITY AND NEED ACCOMMODATION IN ORDER TO PARTICIPATE IN THE MEETING, PLEASE CONTACT COMMUNITY DEVELOPMENT AT 918 259 8412 TO MAKE ARRANGEMENTS.**
- 2. EXHIBITS, PETITIONS, PICTURES, ETC. PRESENTED TO THE BOARD OF ADJUSTMENT MAY BE RECEIVED AND DEPOSITED IN CASE FILES TO BE MAINTAINED AT BROKEN ARROW CITY HALL.**
- 3. RINGING/SOUND ON ALL CELL PHONES AND PAGERS MUST BE TURNED OFF DURING THE MEETING.**

**A paper copy of this agenda is available upon request.**

**POSTED this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, at \_\_\_\_\_ a.m./p.m.**

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**City Clerk**



# City of Broken Arrow

## Request for Action

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**File #:** 26-153, **Version:** 1

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**Broken Arrow Board of Adjustment**  
**01-12-2026**

**To:** **Chairman and Board Members**  
**From:** **Community Development Department**

**Title:** Approval of Board of Adjustment meeting minutes of January 22, 2025  
**Background:** Minutes recorded for the Broken Arrow Board of Adjustment meeting.

**Attachments:** 01 22 2025 Board of Adjustment Minutes

**Recommendation:** Approve minutes of Board of Adjustment meeting held January 22, 2025.

**Reviewed By:** Jane Wyrick

**Approved By:** Rocky Henkel



## City of Broken Arrow

### Minutes

City Hall  
220 S 1st Street  
Broken Arrow, OK 74012

### Board of Adjustment

**Judd Hatch Chairman**  
**Rebecca Hinkle Vice Chair**  
**Kamara Washington Board Member**  
**George Ghesquiere Board Member**  
**Michelle Bergwall Board Member**

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**Wednesday, January 22, 2025**

**Time 5:00 p.m.**

**Board Chambers**

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#### 1. Call to Order

Chairman Judd Hatch called the meeting to order at 5:00 p.m.

#### 2. Roll Call

**Present:** 5 - Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

#### 3. Consideration of Consent Agenda

**A. 25-90 Approval of Board of Adjustment meeting minutes of November 13, 2024**

MOTION: A motion was made by George Ghesquiere, seconded by Michelle Bergwall  
**Move to Approve Consent Agenda**

The motion carried by the following vote:

**Aye:** 5 - Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

#### 4. Public Hearings

**A. 25-109**

**Public hearing, consideration, and possible action regarding VAR-001913-2024, 2210 South Aspen Place Variance, 0.5 acres, Commercial General (CG)/ PUD-50, request to reduce the side building setback line from 35 feet to 31 feet along the north property line of 2210 South Aspen Place, located approximately southwest of the southwest corner of West Washington Street (91st Street), and South Aspen Avenue (145th East Avenue) at 2210 South Aspen Place**

Henry Bibelheimer, Planner II, presented Item 25-109. A Variance 19-13-2024 for 2210 South Aspen Place, a 0.5-acre Commercial General/PUD-zoned property with an existing building constructed in 2014 that was built at a slight angle and currently encroaches into the required northern side setback. The applicant proposes a 22-by-70-foot expansion on the west side of the building that would continue the existing building line, increasing the encroachment into the setback and requiring a setback reduction from 35 feet to 31 feet. Staff explained that the variance is intended both to bring the existing structure into conformance and to allow the proposed expansion, and reviewed the six statutory findings required for approval, concluding that the encroachment is a unique condition, was not created knowingly by the applicant, does not exist elsewhere in the area, does not alter the character of the district, and represents the minimum relief necessary. Based on this analysis, the staff recommended approval of the variance.

During the discussion of Variance 19-13-2024, board members reviewed the exhibit to better understand how the existing building and proposed expansion relate to the required setback, clarifying that the additional encroachment from the expansion is approximately six inches beyond the existing nonconformity. Staff confirmed that the expansion would not encroach on any easements and would affect only the setback line. After visual clarification, the applicant, Jefferey Lorde of Inspire Engineering, addressed the board, noting that maintaining the existing building line would help address drainage concerns and indicating his willingness to comply with the board's recommendation.

A letter by John Sporeleader was read. He is concerned with the building expansion regarding drainage.

During further discussion of the variance request, board members asked for clarification on the overall site layout, including parking, drainage, and stormwater runoff. Staff explained that

most of those issues are addressed through the site plan and engineering review processes rather than through the variance itself, which is limited to the building setback. The applicant, Jefferey Lorde, described planned grading, curb installation, and reconfiguration of the parking area to address known stormwater issues, noting that these improvements would occur within existing easements and permitting requirements. It was clarified that the proposed expansion adds only interior building space, that the west side area will serve as parking rather than building access, and that access to the parking area will be from the south side of the building.

**MOTION:** A motion was made by George Ghesquiere, seconded by Judd Hatch  
**Move to Approve Item 25-109 VAR-001913-2024, 2210 South Aspen Place Variance, 0.5 acres, Commercial General (CG)/ PUD-50, request to reduce the side building setback line from 35 feet to 31 feet along the north property line of 2210 South Aspen Place, located approximately southwest of the southwest corner of West Washington Street (91st Street), and South Aspen Avenue (145th East Avenue) at 2210 South Aspen Place**

The motion carried by the following vote:

**Aye: 5 -** Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

## **5. General Board Business – NONE**

## **6. Remarks, Inquiries, and/or Comments by the Board and/or Staff (No Action) – NONE**

## **7. Adjournment**

The meeting was adjourned at approximately 5:15 p.m.

**MOTION:** A motion was made by Judd Hatch, seconded by Michelle Bergwall

**Move to Adjourn**

The motion carried by the following vote:

**Aye: 5 -** Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch



# City of Broken Arrow

## Request for Action

---

**File #:** 26-154, **Version:** 1

---

**Broken Arrow Board of Adjustment**  
**01-12-2026**

**To:** **Chairman and Board Members**  
**From:** **Community Development Department**

**Title:** Approval of Board of Adjustment meeting minutes of October 13, 2025  
**Background:** Minutes recorded for the Broken Arrow Board of Adjustment meeting.

**Attachments:** 10 13 2025 Board of Adjustment Minutes

**Recommendation:** Approve minutes of Board of Adjustment meeting held October 13, 2025.

**Reviewed By:** Jane Wyrick

**Approved By:** Rocky Henkel



## City of Broken Arrow

### Minutes

City Hall  
220 S 1st Street  
Broken Arrow, OK 74012

### Board of Adjustment

**Judd Hatch Chairman**  
**Rebecca Hinkle Vice Chair**  
**Kamara Washington Board Member**  
**George Ghesquiere Board Member**  
**Michelle Bergwall Board Member**

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**Wednesday, January 22, 2025**

**Time 5:00 p.m.**

**Board Chambers**

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#### 1. Call to Order

Chairman Judd Hatch called the meeting to order at 5:00 p.m.

#### 2. Roll Call

**Present:** 5 - Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

#### 3. Consideration of Consent Agenda

**A. 25-90 Approval of Board of Adjustment meeting minutes of November 13, 2024**

MOTION: A motion was made by George Ghesquiere, seconded by Michelle Bergwall  
**Move to Approve Consent Agenda**

The motion carried by the following vote:

**Aye:** 5 - Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

#### 4. Public Hearings

**A. 25-109**

**Public hearing, consideration, and possible action regarding VAR-001913-2024, 2210 South Aspen Place Variance, 0.5 acres, Commercial General (CG)/ PUD-50, request to reduce the side building setback line from 35 feet to 31 feet along the north property line of 2210 South Aspen Place, located approximately southwest of the southwest corner of West Washington Street (91st Street), and South Aspen Avenue (145th East Avenue) at 2210 South Aspen Place**

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most of those issues are addressed through the site plan and engineering review processes rather than through the variance itself, which is limited to the building setback. The applicant, Jefferey Lorde, described planned grading, curb installation, and reconfiguration of the parking area to address known stormwater issues, noting that these improvements would occur within existing easements and permitting requirements. It was clarified that the proposed expansion adds only interior building space, that the west side area will serve as parking rather than building access, and that access to the parking area will be from the south side of the building.

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The motion carried by the following vote:

**Aye: 5 -** Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch

## **5. General Board Business – NONE**

## **6. Remarks, Inquiries, and/or Comments by the Board and/or Staff (No Action) – NONE**

## **7. Adjournment**

The meeting was adjourned at approximately 5:15 p.m.

**MOTION:** A motion was made by Judd Hatch, seconded by Michelle Bergwall

**Move to Adjourn**

The motion carried by the following vote:

**Aye: 5 -** Michelle Bergwall, George Ghesquiere, Kamara Washington, Rebecca Hinkle, Judd Hatch



# City of Broken Arrow

## Request for Action

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**File #:** 26-152, **Version:** 1

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### **Broken Arrow Board of Adjustment** **01-12-2026**

**To:** **Chairman and Board Members**  
**From:** **Community Development Department**  
**Title:**

Public hearing, consideration, and possible action regarding VAR-002576-2025, TFCU, approximately 1.37 acres, CG (Commercial General), request a variance from Highway Design Overlay District orientation regulations, located approximately one-third mile north of West Tucson Street (121st Street), and just east of South Aspen Avenue (145th East Avenue)

**Background:**

**Applicant:** Michael Doggett, Animas Civil Engineering  
**Owner:** Tinker Federal Credit Union  
**Developer:** Jason Kapka, Tinker Federal Credit Union  
**Surveyor:** N/A  
**Location:** Located approximately one-third mile north of West Tucson Street (121st Street), and just east of South Aspen Avenue (145th East Avenue)  
**Size of Tract** 1.37 acres  
**Number of Lots:** 1  
**Present Zoning:** CG - Commercial General  
**Comp Plan:** Level 6 - Regional Employment/Commercial

VAR-002576-202 involves 1.37 acres, which is zoned CG, is a request to waive the Highway Design Overlay District (HDOD) orientation regulations, Located approximately one-third mile north of West Tucson Street (121st Street), and just east of South Aspen Avenue (145th East Avenue.)

This property is in the process of being developed into a Tinker Federal Credit Union branch. Due to site conditions, mainly topography due to turnpike onramps, the site is not visible from the Creek Turnpike and is mostly visible from its frontage off Aspen Avenue. The applicants are requesting a variance to be granted. There are four criteria that must be met for the Board of Adjustment to grant the variance.

**1. *Unnecessary Hardship. The application of the ordinance to the particular piece of property would create unnecessary hardship;***

**Analysis:**

This parcel has unique topographical challenges due to the slopes required for the controlled access intersection of the Creek Turnpike and Aspen Avenue.

**2. *Unusual Conditions.* Such conditions are peculiar to the particular piece of property involved;**

**Analysis:**

Other properties which abut the Creek Turnpike or OK-51 often do not have the same topographical challenges as this location.

**3. *Public Good.* Relief, if granted, would not cause substantial detriment to the public good, or impair the purposes and intent of the ordinance or the comprehensive plan; and**

**Analysis:**

Because this property is located at a lower elevation than both Aspen Avenue and the view of the site is mostly not visible from the Creek Turnpike, allowing the orientation of the building to face Aspen Avenue will not cause a substantial detriment to the public good, or impair the purposes of the ordinance or the comprehensive plan.

**4. *Minimum Variance.* The variance, if granted, would be the minimum necessary to alleviate the unnecessary hardship.**

**Analysis:**

The property could be built fronting the Creek Turnpike; however, it would be visible mostly to westbound on-ramp traffic and not those driving on the Creek Turnpike itself. Granting a variance to waive the HDOD orientation requirement will be the minimum variance to the HDOD design requirements.

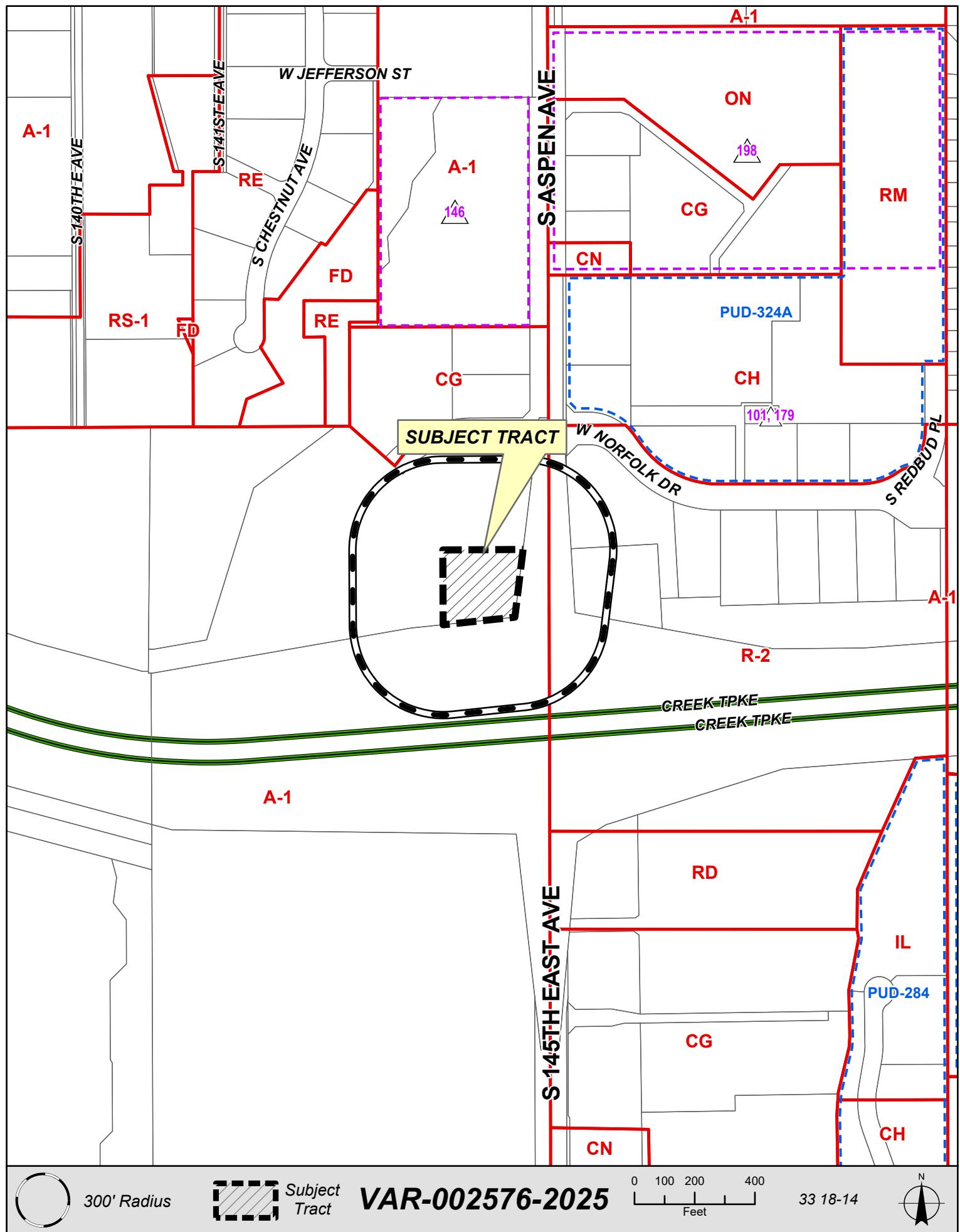
**Attachments:** Case map  
Aerial  
Site Plan  
Applicant Letter  
Site Photos

**Recommendation:**

By State law and by the City of Broken Arrow Zoning Ordinance, for a variance to be granted, all four criteria listed above must be met. In Staff's opinion, the request for a variance to waive the HDOD orientation requirements meets the four criteria for the Board to grant a variance. Therefore, Staff recommends that VAR-002576-2025 be approved.

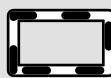
**Reviewed and Approved by: Rocky Henkel**

JAJ





Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Date: 2024



Subject  
Tract

**VAR-002576-2025**

0 100 200 300 400  
Feet

33 18-14



# CIVIL CONSTRUCTION PLANS FOR

## TINKER FEDERAL CREDIT UNION

LOT 3, BLOCK 1, PEAK BROKEN ARROW ADDITION

5608 S. ASPEN AVE.

THE CITY OF BROKEN ARROW  
TULSA COUNTY, OKLAHOMA

### ZONING NOTES:

Zoned: CH - Commercial Heavy  
Existing site conditions appear (from outside observations) to fall within permitted uses as listed above in the City of Broken Arrow's Zoning Regulations.  
Zoning Regulations are subject to change and interpretation, for further information contact: City of Broken Arrow (phone: 918-259-2400)

### SITE RESTRICTIONS:

1. Minimum building setbacks:  
Front: 50 FEET  
Side: 10/5 FEET (one side/other side)  
Rear: 40 FEET
2. Measured building tie distances: No restrictions listed.
3. Minimum lot frontage: 30 FEET (min. provided: 226')
4. Maximum building height: NONE (max. provided: 25')
5. Maximum density: 7.60%
6. Maximum floor area ratio: 0.076:1

Parking Tabulation:  
29 Parking Spaces Total (27 Regular, 2 ADA spaces)  
4,531 SF Building (1:300 = 16 spaces required)  
125% Max. Parking Allowed = 20 spaces (Variance Granted XX/XX/2026)

P01: Parking variance granted administratively via email on 11/13/2025. Please include copy of email in final submission

### GENERAL NOTES:

1. The bearing base for this survey originated from General Warranty Deed, Document #2022000226.
2. This property has an area of 59,631 square feet or 1.37 acres of land.
3. This property is designated by Tulsa County, as Tax Map Parcel 98433-84-33-61570.
4. There no observable evidence of cemeteries found at the time of this survey.
5. The property has access via S. Aspen Ave., which is a public right of way.
6. Interior roadways appear to be private, variable in width and unnamed, unless otherwise shown.
7. The development plans for this site show no adverse impacts to offsite properties from peak stormwater flows. Refer to STR 33-18-14, Fee-In-Lieu-Of Detention Determination, Broken Arrow Determination Letter DD-121624-73.

### LEGAL DESCRIPTION:

A tract of land that is a part of the Northeast Quarter of the Southeast Quarter (NE/4 SE/4) of Section Thirty-Three (33), Township Eighteen (18) North, Range Fourteen (14) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.

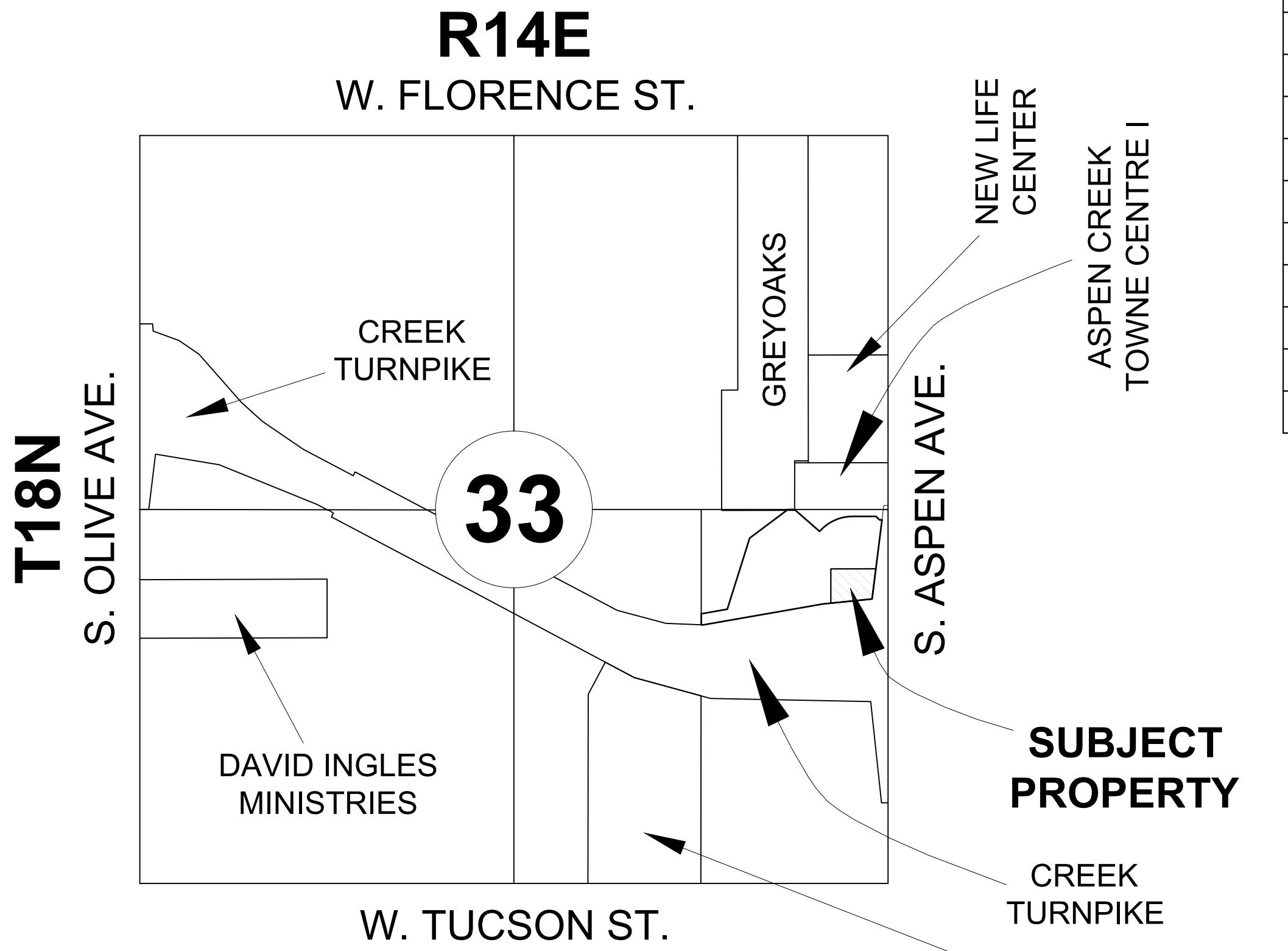
Being all of Lot 3, Block 1, Peak Broken Arrow Addition, recorded in Document # 7216, Tulsa County Official Plat Records.

(Containing 59,631 square feet, or 1.37 Acres, more or less).

### FLOOD ZONE NOTE:

By graphic plotting only, this property is in Zone X (Unshaded) of the Flood Insurance Rate Map, Community Panel No. 40143C0452L, which bears an effective date of October 16th, 2012.

### VICINITY MAP (NOT TO SCALE)



### CONTACT LIST

**DEVELOPER**  
JASON KAPKA  
TFCU  
PO BOX 45750  
TINKER AFB, OK 73145  
(405) 255-2578  
KAPKAJ@TINKERFCU.ORG

**WATER / SANITARY SEWER**  
CITY OF BROKEN ARROW  
TIMOTHY ROBINS  
DIRECTOR OF UTILITIES  
485 N. POPLAR AVE.  
BROKEN ARROW, OK 74012  
PHONE: (918) 259-7000 EXT. 3000

**COMMUNITY DEVELOPMENT**  
CITY OF BROKEN ARROW  
ROCKY HENKEL  
220 SOUTH FIRST STREET  
BROKEN ARROW, OK 74012  
PHONE: (918) 259-7000 EXT. 2300

**ENGINEER**  
ANIMAS CIVIL ENGINEERING, LLC.  
MICHAEL DOGGETT, P.E.  
P.O. BOX 830974  
RICHARDSON, TEXAS 75083  
(214) 803-1099  
MICHAEL@ANIMASCIVIL.COM

**STREETS & STORMWATER**  
CITY OF BROKEN ARROW  
TIM WILSON  
DEPT. HEAD OF STREETS & STORM WATER  
485 N. POPLAR AVE.  
BROKEN ARROW, OK 74012  
PHONE: (918) 259-7000 EXT. 5200

**SURVEYOR**  
BEARING TREE LAND SURVEYING, LLC  
JEFF JOHNSON, LS1  
7100 BROADWAY EXTENSION  
OKLAHOMA CITY, OKLAHOMA 73116  
(405) 370-1048  
JMJOHNSON@BTLS.US

**CONSTRUCTION DIVISION**  
CITY OF BROKEN ARROW  
NATE KOHL  
485 N. POPLAR AVE.  
BROKEN ARROW, OK 74012  
PHONE: (918) 259-7000 EXT. 3317

SHEET LIST TABLE	
SHEET NO.	SHEET TITLE
C-1.00	COVER SHEET
C-1.01	FINAL PLAT
C-2.01	DEMOLITION PLAN
C-3.01	SITE PLAN
C-3.02	FIRE ANALYSIS PLAN
C-4.01	GRADING PLAN
C-5.01	DRAINAGE AREA MAP
C-6.01	STORM PLAN
C-6.02	STORM PROFILES
C-6.03	DRAINAGE CALCULATIONS
C-7.01	UTILITY PLAN
C-8.01	EROSION CONTROL PLAN
C-9.01	EROSION CONTROL DETAILS
C-9.02	EROSION CONTROL DETAILS
C-9.03	EROSION CONTROL DETAILS
C-9.04	PAVING DETAILS
C-9.05	DRAINAGE DETAILS
C-9.06	WATER DETAILS
C-9.07	SANITARY SEWER DETAILS
L-1.01	LANDSCAPE PLAN
L-1.02	LANDSCAPE SPECIFICATIONS & DETAILS
L-2.01	IRRIGATION PLAN
L-2.02	IRRIGATION DETAILS

THE FOLLOWING ARE OKLAHOMA DEPARTMENT OF TRANSPORTATION DETAILS SELECTED AND SHOWN ON SHEETS C-9.01 TO C-9.03:

1. INLET PROTECTION R-5
2. STABILIZED CONSTRUCTION EXIT R-11
3. REINFORCED SILT FENCE R-6

THE FOLLOWING ARE CITY OF BROKEN ARROW DETAILS SELECTED AND SHOWN ON SHEETS C-9.04 TO C-9.07:

1. CURB & GUTTER DETAIL ST 05
2. SIDEWALK & WHEELCHAIR RAMP DETAIL ST 06
3. STANDARD CONCRETE PAVEMENT JOINTS ST 12
4. COMMERCIAL DRIVEWAY ST 19
5. STANDARD DETAIL FOR PAVEMENT CUTS ST 24
6. CONCRETE STREET INTERSECTION LAYOUT ST 11
7. STORM SEWER PIPE BEDDING DETAIL ST 01
8. STORM SEWER JOINT WRAPPING DETAIL ST 02
9. STORM SEWER MANHOLE RING & LID ST 25
10. RECESSED CURB INLET DETAIL ST 27
11. RECESSED CURB INLET DETAIL ST 27A
12. WATER PIPE BEDDING DETAILS W01
13. VALVE BOX DETAIL W04
14. THRUST BLOCK LOCATIONS DETAILS W06
15. 1" METER SETTING W12
16. 2" POSITIVE DISPLACEMENT METER SETTING W15
17. SANITARY SEWER PIPE BEDDING DETAIL SS03
18. SANITARY SEWER TAP DETAIL SS03A

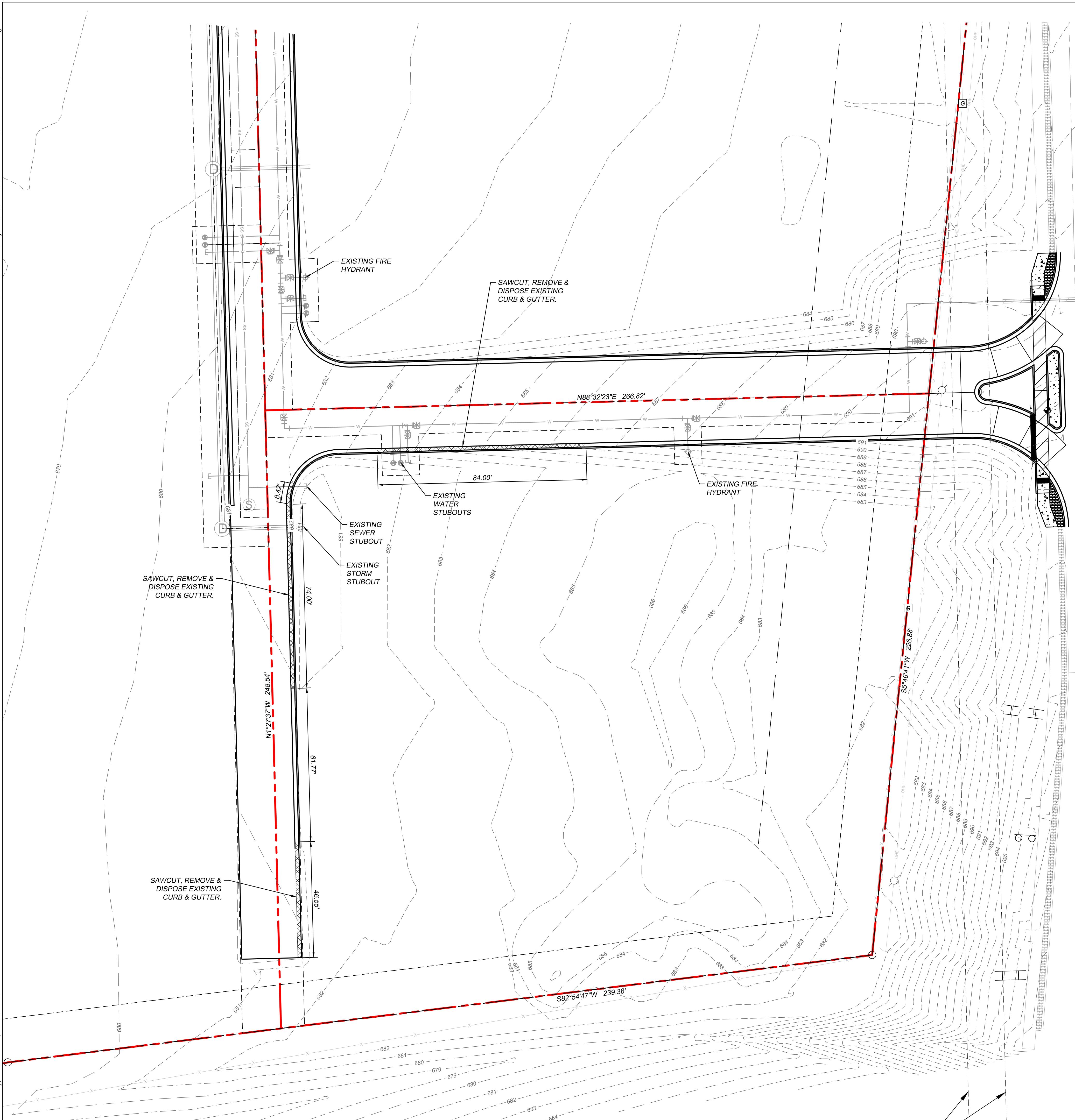


TINKER FEDERAL CREDIT UNION  
BROKEN ARROW  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:

SHEET TITLE: COVER SHEET  
DATE 12/17/25  
C-1.00

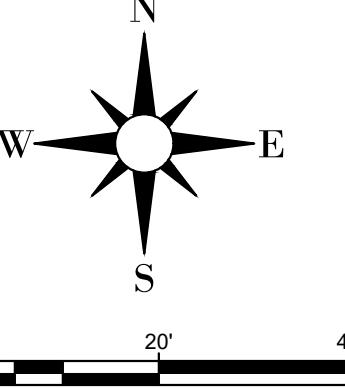




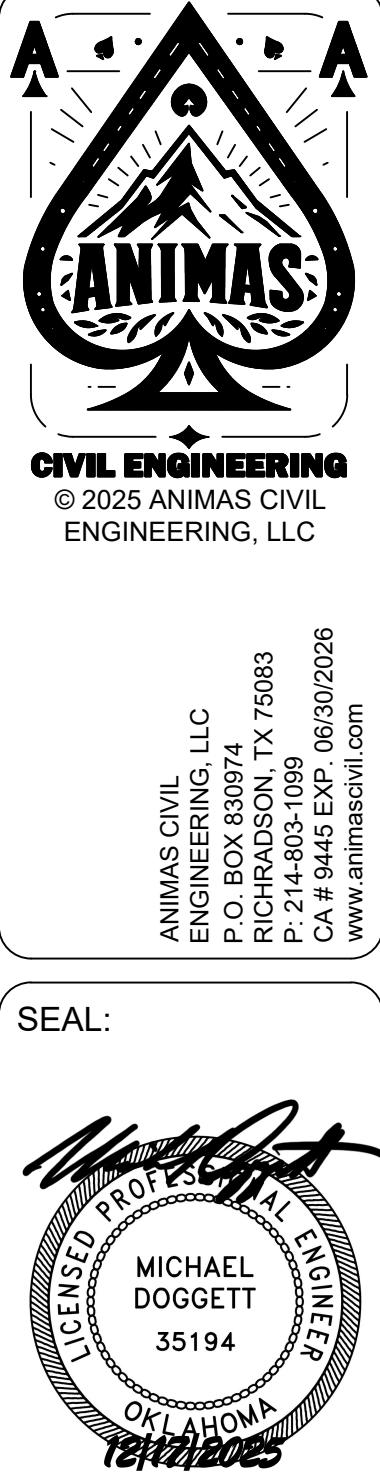
# S. ASPEN AVE



**Know what's below.  
Call before you dig.**



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# TINKER FEDERAL CREDIT UNION BROKEN ARROW

608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT: 02001

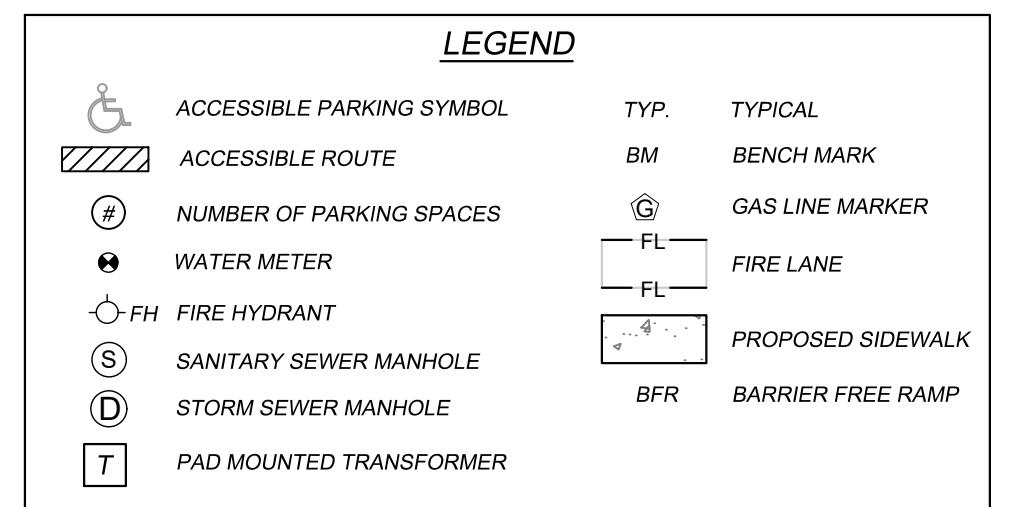
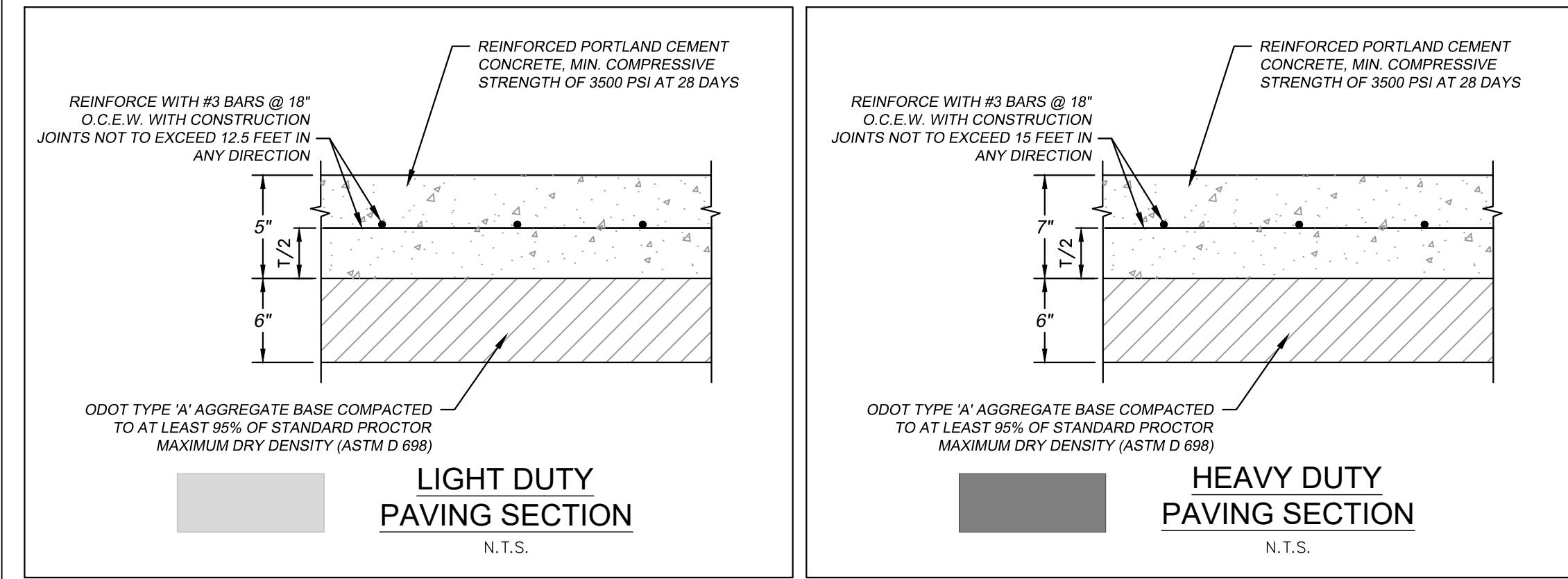
REVISIONS  
LABEL: DATE:

**SHEET TITLE:**  
**DEMOLITION**  
**PLAN**

DATE 12/17/25

DATE 12/17/25

C-2.01



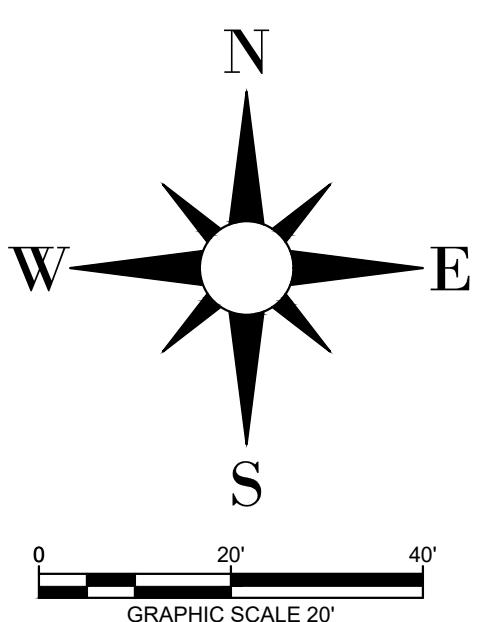
\*PAVEMENT SECTIONS ARE SHOWN FOR REFERENCE ONLY. PAVEMENT DESIGN AND SOIL PREPARATION RECOMMENDATIONS BY STANDARD ENGINEERING & FIELD SERVICES (REPORT NO. 2530-0423 DATED AUGUST 15, 2025) SHALL BE ADHERED TO FOR BOTH MATERIALS AND PRACTICE OF INSTALLATION.

## S. ASPEN AVE

(variable width public right-of-way)

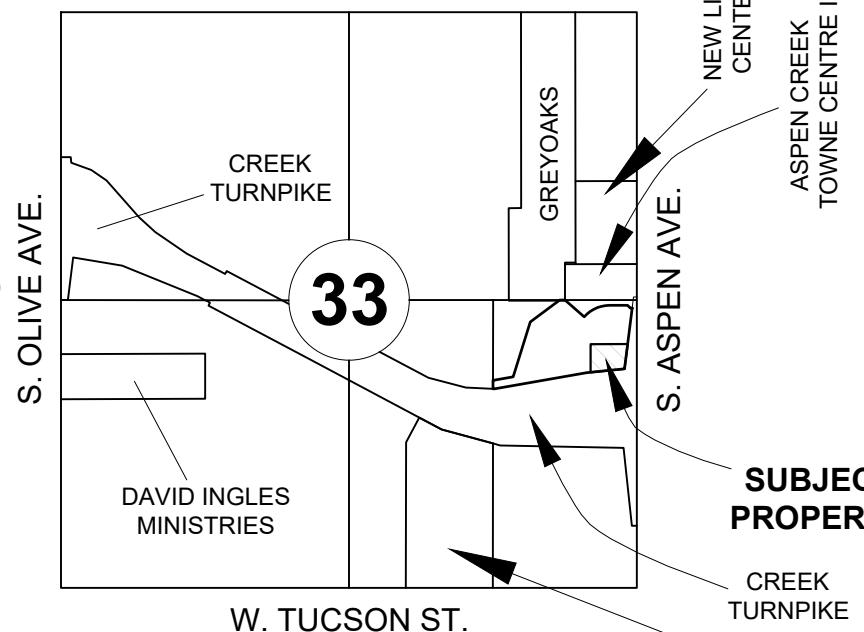


Know what's below.  
Call before you dig.

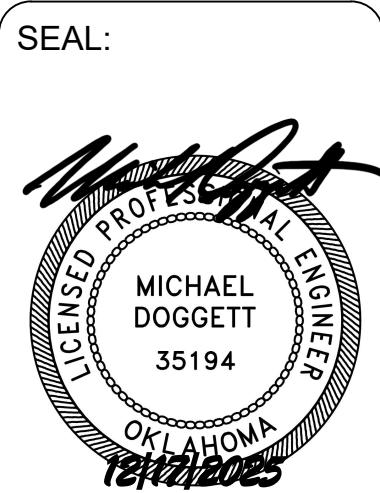


## VICINITY MAP (NOT TO SCALE)

R14E  
W. FLORENCE ST.



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## TINKER FEDERAL CREDIT UNION BROKEN ARROW

5608 S. ASPEN AVE. BROKEN ARROW, OK 74040

5608 S. ASPEN AVE. BROKEN ARROW, OK 74040

SITE DATA TABLE - LOT 3	
LOT 3, BLOCK 1, PEAK BROKEN ARROW ADDITION	ZONING
CH	FINANCIAL INSTITUTION, WITH DRIVE-THRU
LAND USE	
LOT AREA (SQ. FT.)	59,631
LOT AREA (ACRES)	1.37
BUILDING SIZE (SQ. FT.)	4,531
BUILDING HEIGHT (FT.)	24
LOT COVERAGE	7.6%
FLOOR AREA RATIO	0.076
IMPERVIOUS COVER (S.F.)	41368
IMPERVIOUS COVER (%)	69.4%
REQUIRED PARKING RATIO	1:300 S.F. (BANK S.F.)
TOTAL PARKING REQUIRED	16
MAX PARKING ALLOWED (125%)	20
PARKING PROVIDED	29 (VARIANCE REQ.)
ADA PARKING REQUIRED	2
ADA PARKING PROVIDED	2

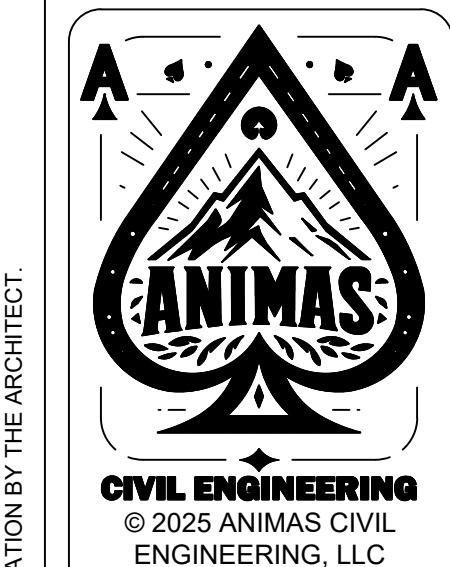
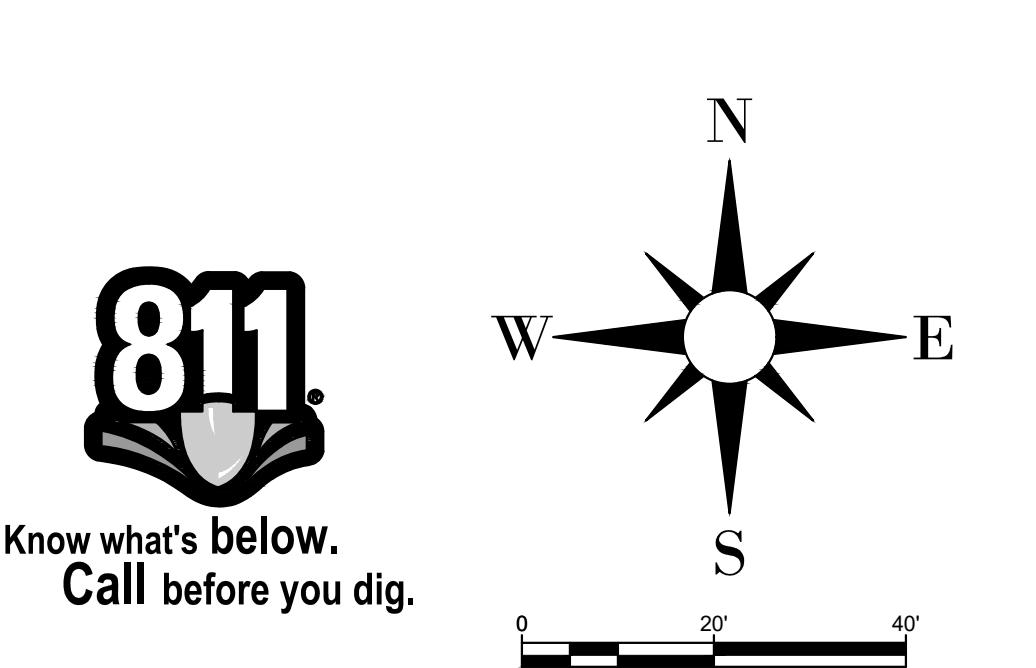
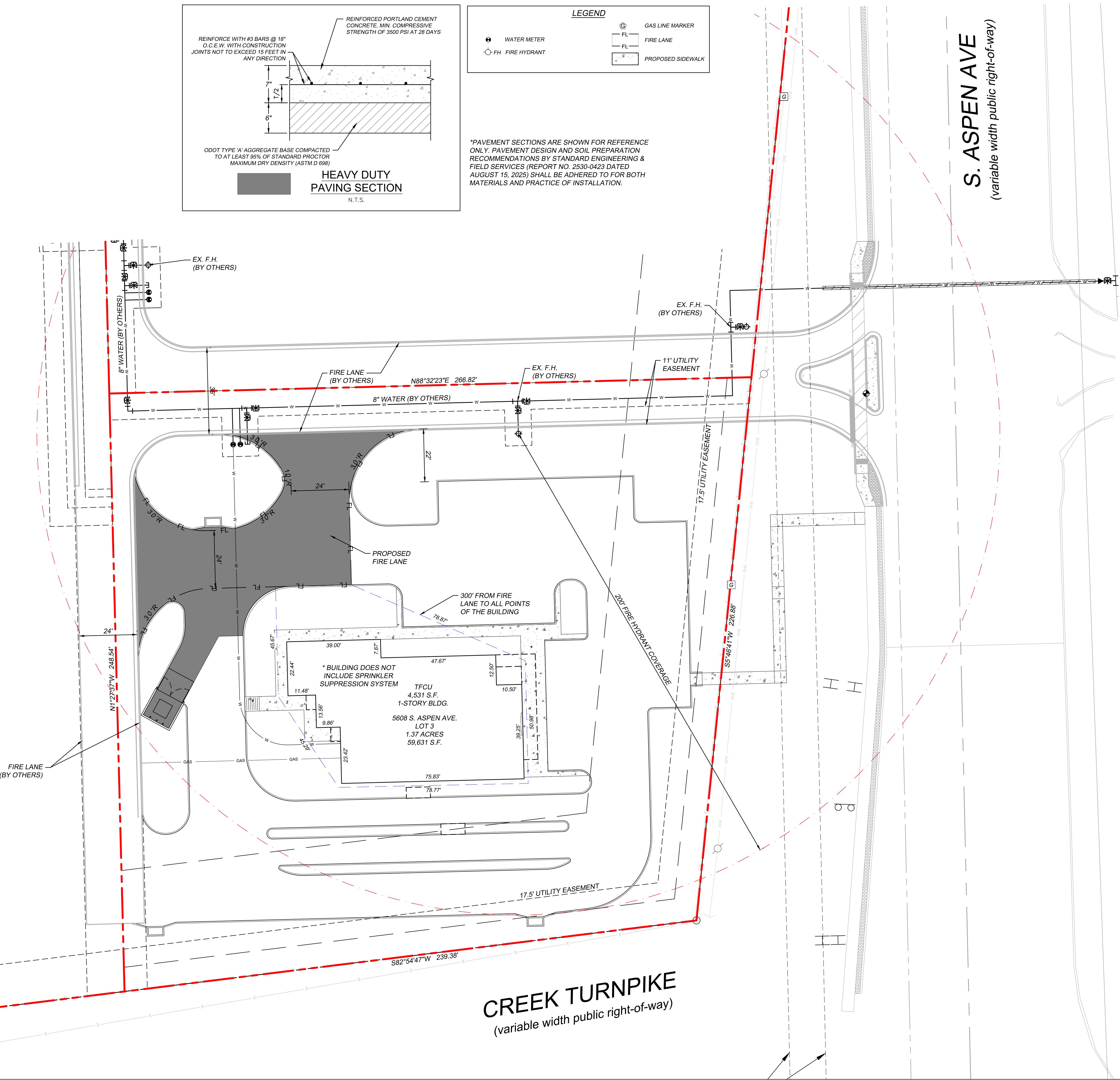
### NOTES

1. VARIANCE TO HIGHWAY OVERLAY REQUIREMENTS IS REQUESTED TO ALLOW PRIMARY FAÇADE TO NOT FACE CREEK TURNPIKE DUE TO GRADE CHANGE BETWEEN SITE AND CREEK TURNPIKE.
2. VARIANCE TO MAXIMUM PARKING REQUIREMENTS IS REQUESTED TO ALLOW THE AMOUNT OF PARKING SHOWN ON THIS SITE PLAN DUE TO THE VOLUME OF CUSTOMERS EXPECTED BASED ON HISTORICAL DATA FROM TFCU.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
4. ALL DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.
5. ALL CURB RADII ARE 2' UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE CONSTRUCTION SPECIFICATIONS.
8. REFER TO BUILDING PLANS FOR ROOFTOP HVAC SCREENING DETAILS.
9. CONTRACTOR SHALL REFER TO M.E.P. AND LANDSCAPE PLANS FOR CONDUIT PLACEMENT PRIOR TO PAVING.
10. THE DEVELOPMENT PLANS FOR THIS SITE SHOW NO ADVERSE IMPACTS TO OFFSITE PROPERTIES FROM PEAK STORMWATER FLOWS. REFER TO STR 33-18-14, FEE-IN-LIEU OF DETENTION DETERMINATION, BROKEN ARROW DETERMINATION LETTER DD-121624-73.
11. NO FLOODPLAIN EXISTS ON THIS PROPERTY. THIS PROPERTY IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NO. 40143C0452L, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 16TH, 2012.

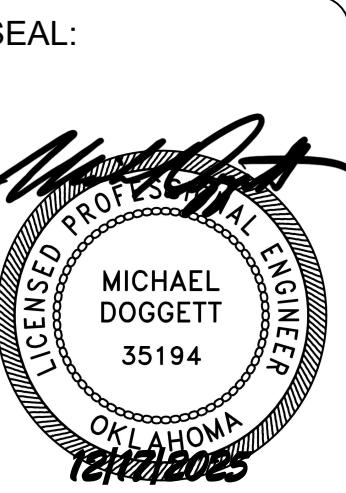
ACE PROJECT: 02001
REVISIONS LABEL: DATE:
SHEET TITLE: SITE PLAN
DATE 12/17/25
C-3.01

DEVELOPER  
JASON KAPKA  
TFCU  
PO BOX 45750  
TINKER AFB, OK 73145  
(405) 255-2578  
KAPKAJ@TINKERFCU.ORG  
ENGINEER  
ANIMAS CIVIL ENGINEERING, LLC.  
MICHAEL DOGETT, P.E.  
P.O. BOX 830974  
RICHARDSON, TEXAS 75083  
(214) 803-1099  
MICHAEL@ANIMASCIVIL.COM

CREEK TURNPIKE  
(variable width public right-of-way)



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# TINKER FEDERAL CREDIT UNION BROKEN ARROW

608 S. ASPEN AVE. BROKEN ARROW, OK 74011

SP

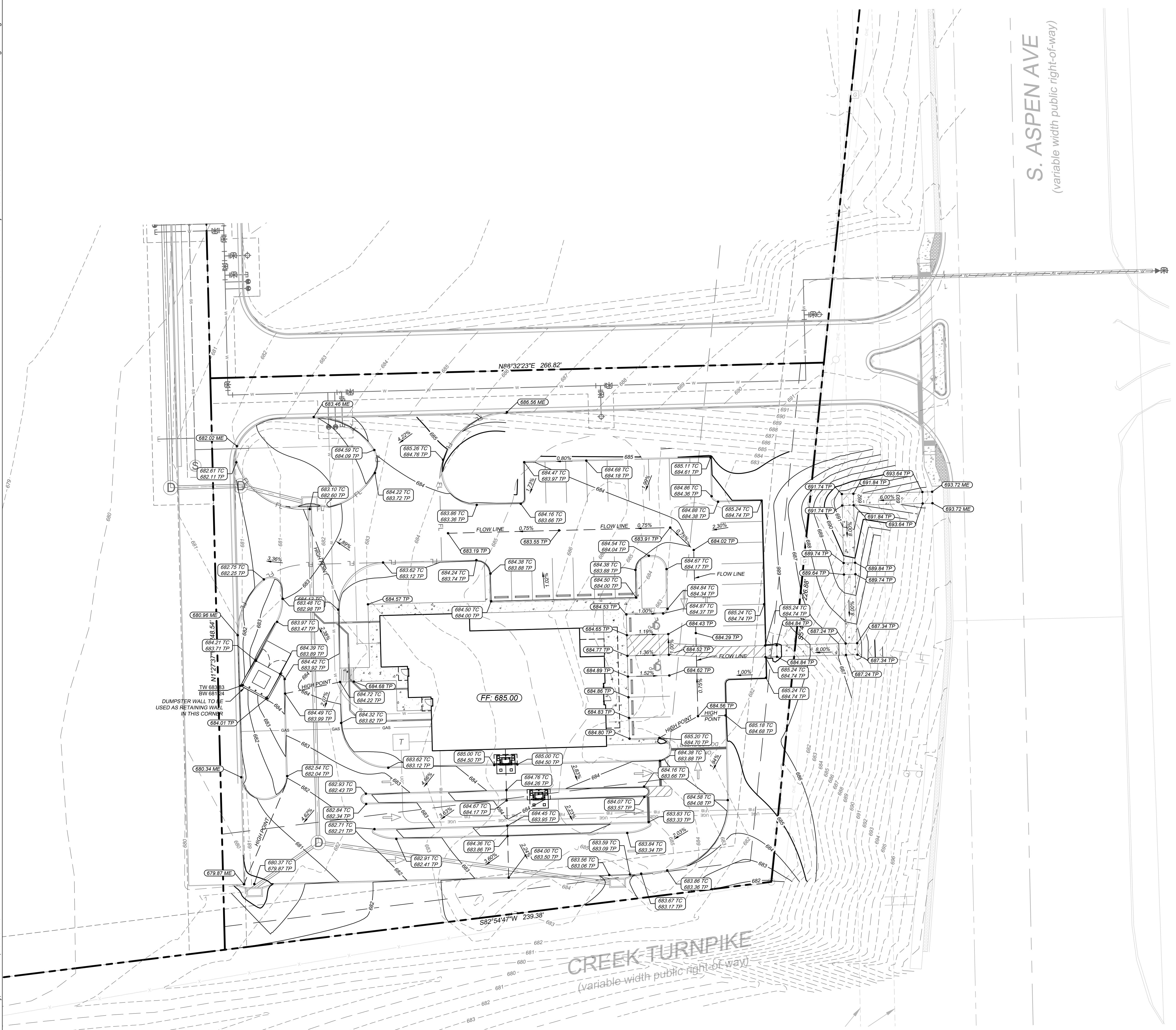
REVISIONS  
LABEL: DATE:

**SHEET TITLE:**  
**FIRE**  
**ANALYSIS**  
**PLAN**

DATE 12/17/25

T<sub>0</sub> (C)

COPYR

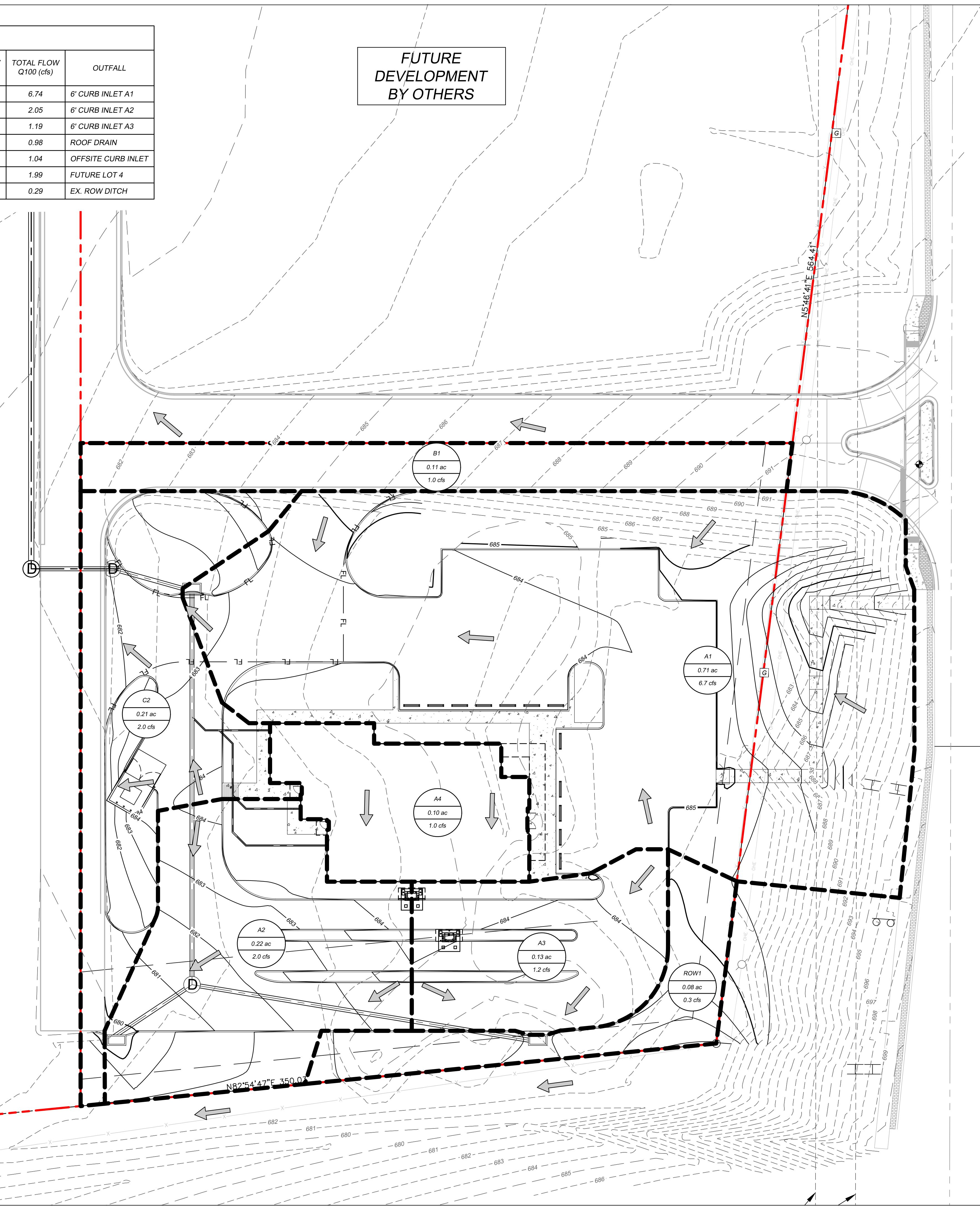


## DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	RAINFALL INTENSITY "I"5 (in/hr)	RAINFALL INTENSITY "I"100 (in/hr)	TIME OF CONCENTRATION (minutes)	TOTAL FLOW Q5 (cfs)	TOTAL FLOW Q100 (cfs)	OUTFALL
A1	0.71	0.90	6.90	10.50	5.0	4.43	6.74	6' CURB INLET A1
A2	0.22	0.90	6.90	10.50	5.0	1.34	2.05	6' CURB INLET A2
A3	0.13	0.90	6.90	10.50	5.0	0.78	1.19	6' CURB INLET A3
A4	0.10	0.90	6.90	10.50	5.0	0.65	0.98	ROOF DRAIN
B1	0.11	0.90	6.90	10.50	5.0	0.68	1.04	OFFSITE CURB INLET
C2	0.21	0.90	6.90	10.50	5.0	1.31	1.99	FUTURE LOT 4
ROW1	0.08	0.35	6.90	10.50	5.0	0.19	0.29	EX. ROW DITCH

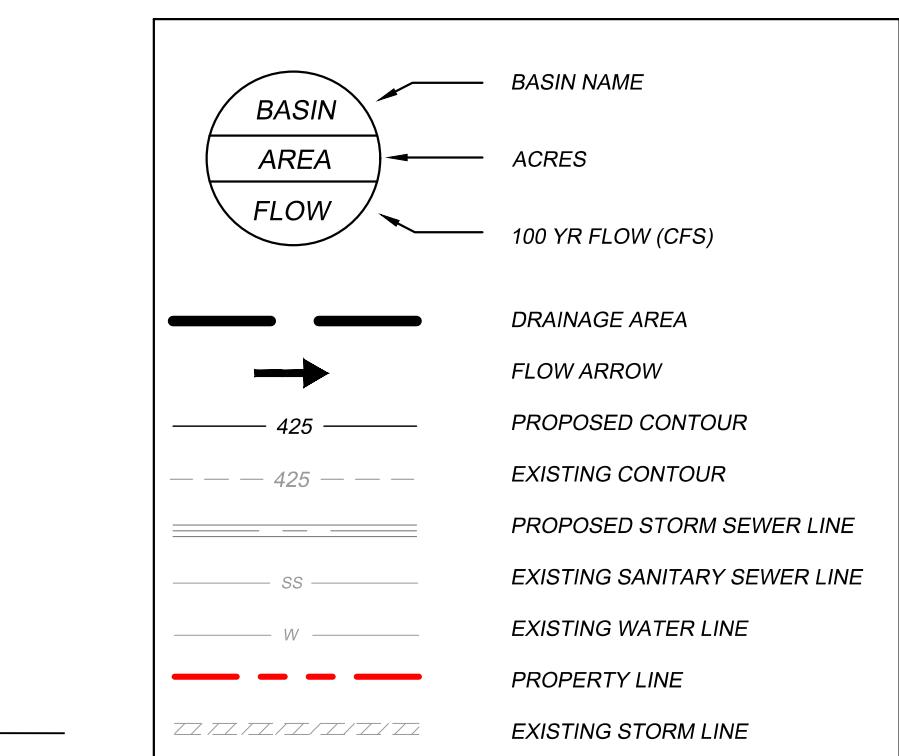
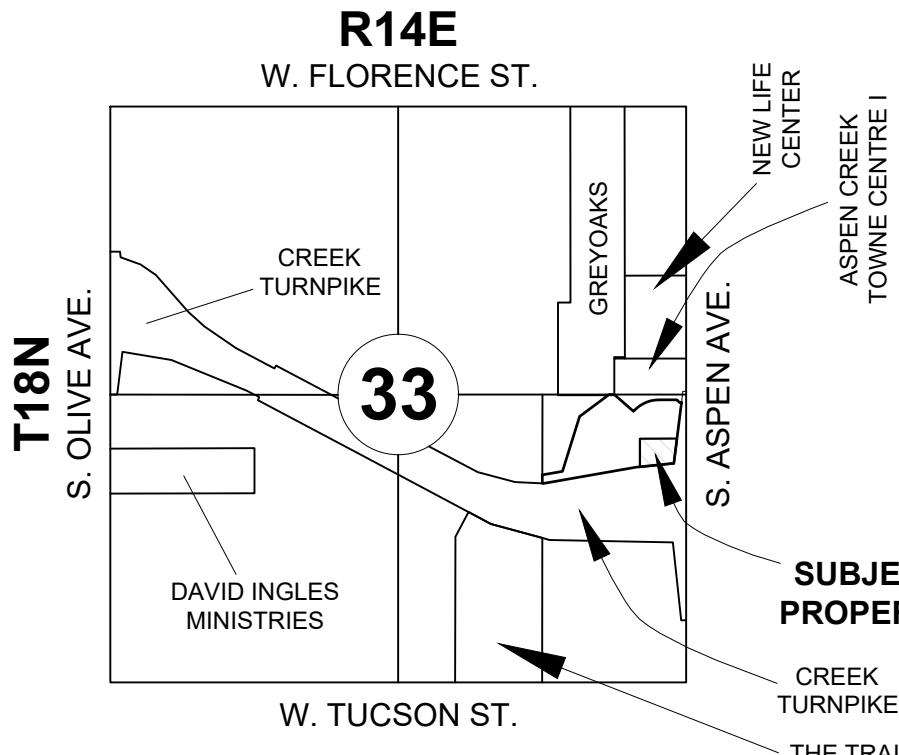
FUTURE  
DEVELOPMENT  
BY OTHERS

FUTURE  
DEVELOPMENT  
BY OTHERS

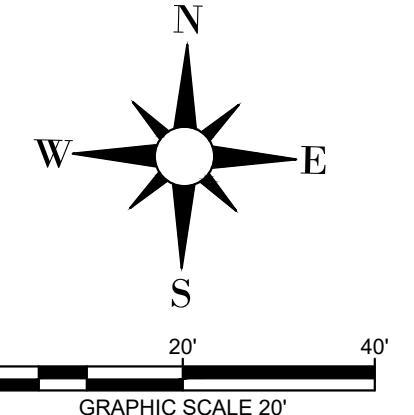


S. ASPEN AVE  
(variable width public right-of-way)

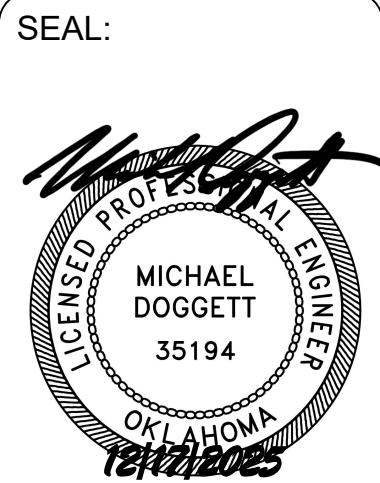
## VICINITY MAP (NOT TO SCALE)



ACE PROJECT: 02001	REVISIONS LABEL: DATE:
SHEET TITLE: DRAINAGE AREA MAP	DATE 12/17/25
C-5.01	

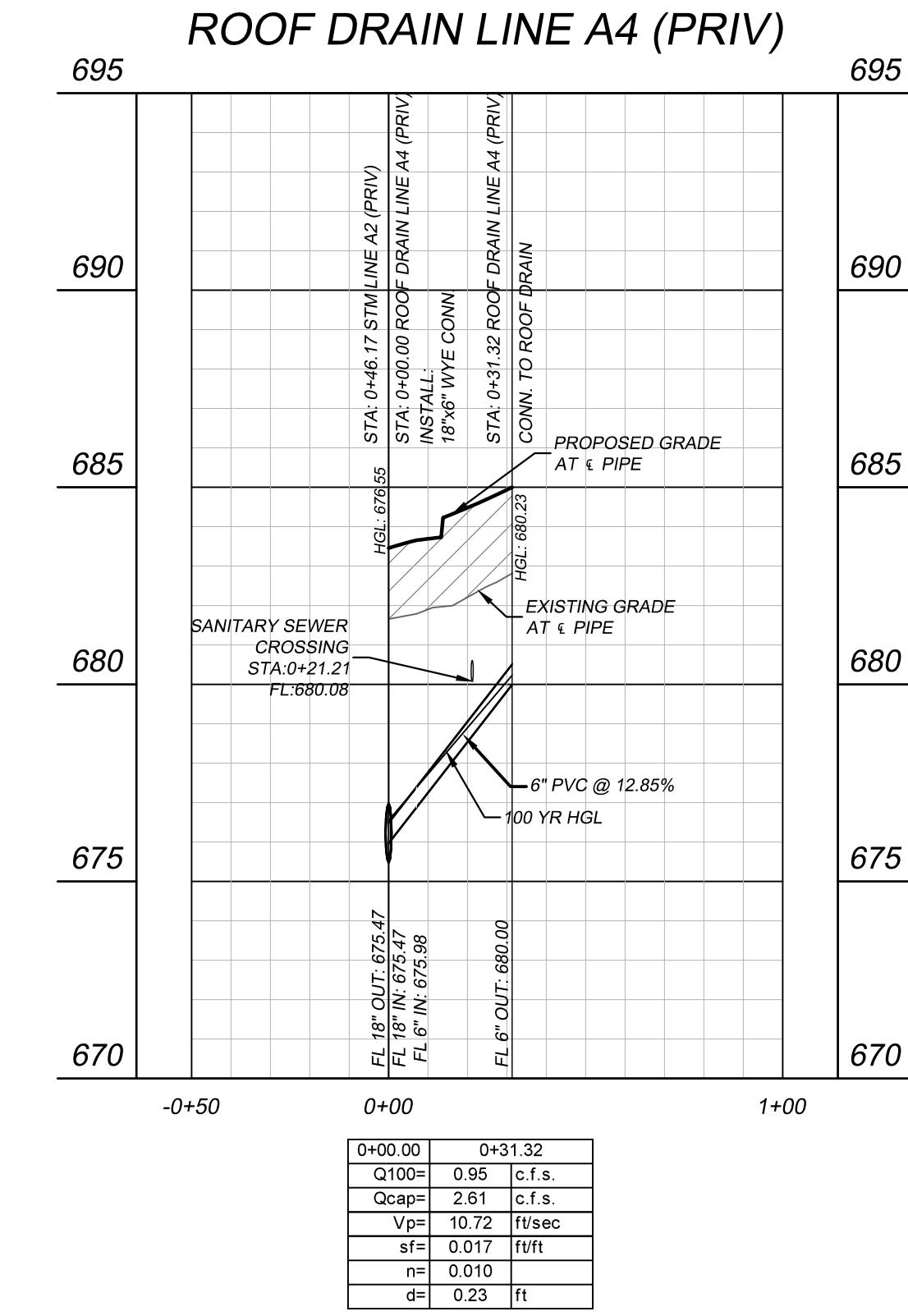
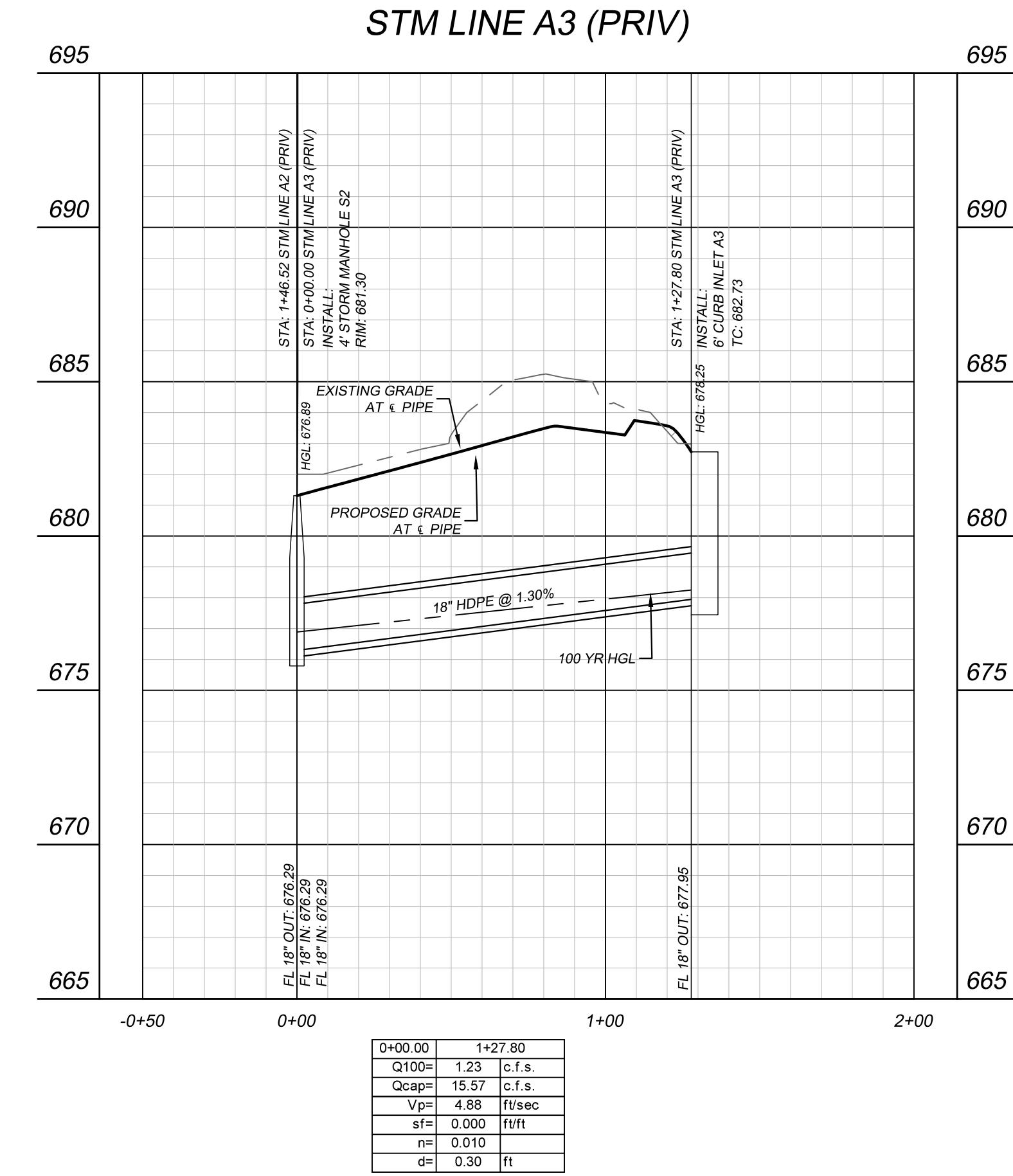
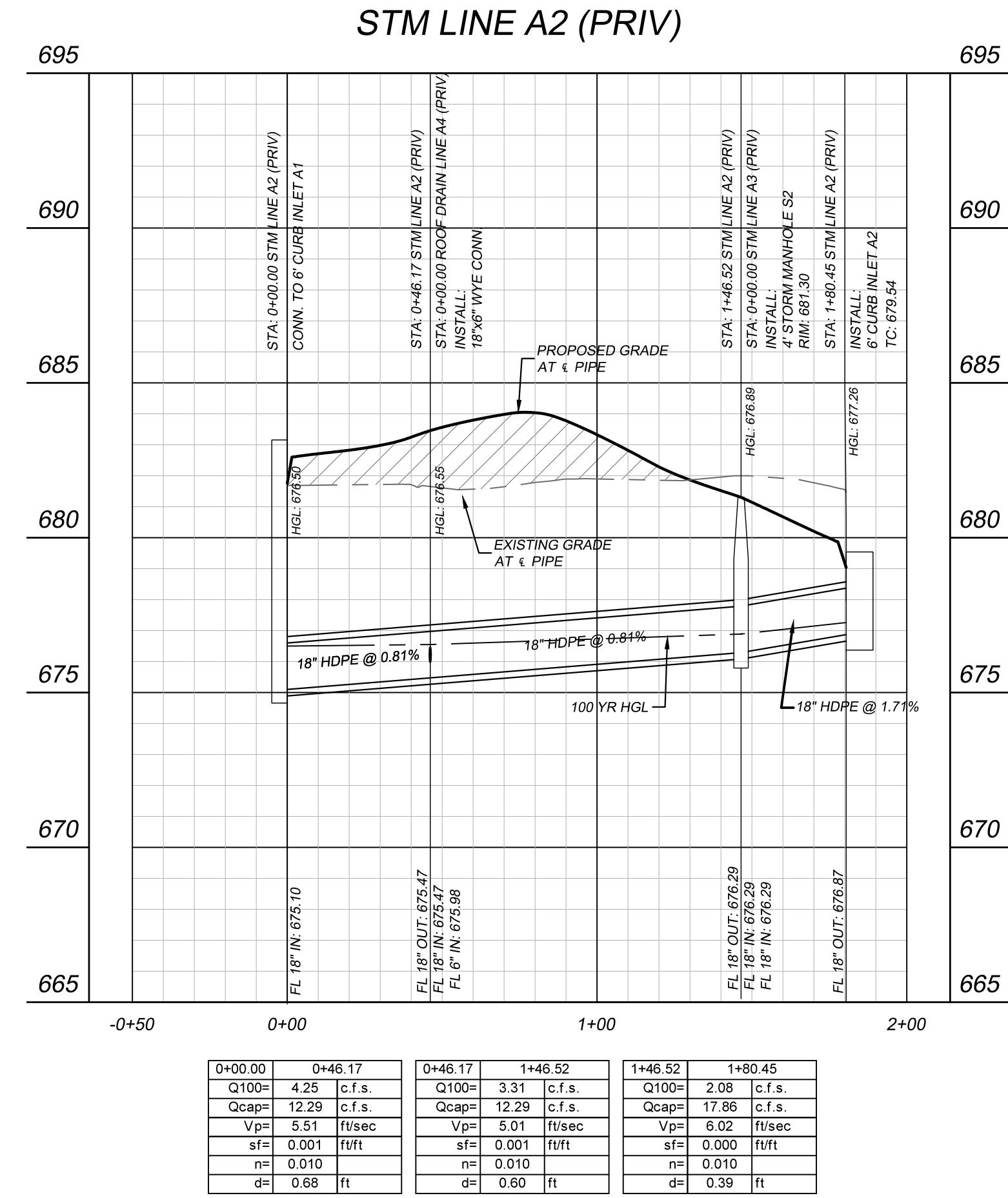
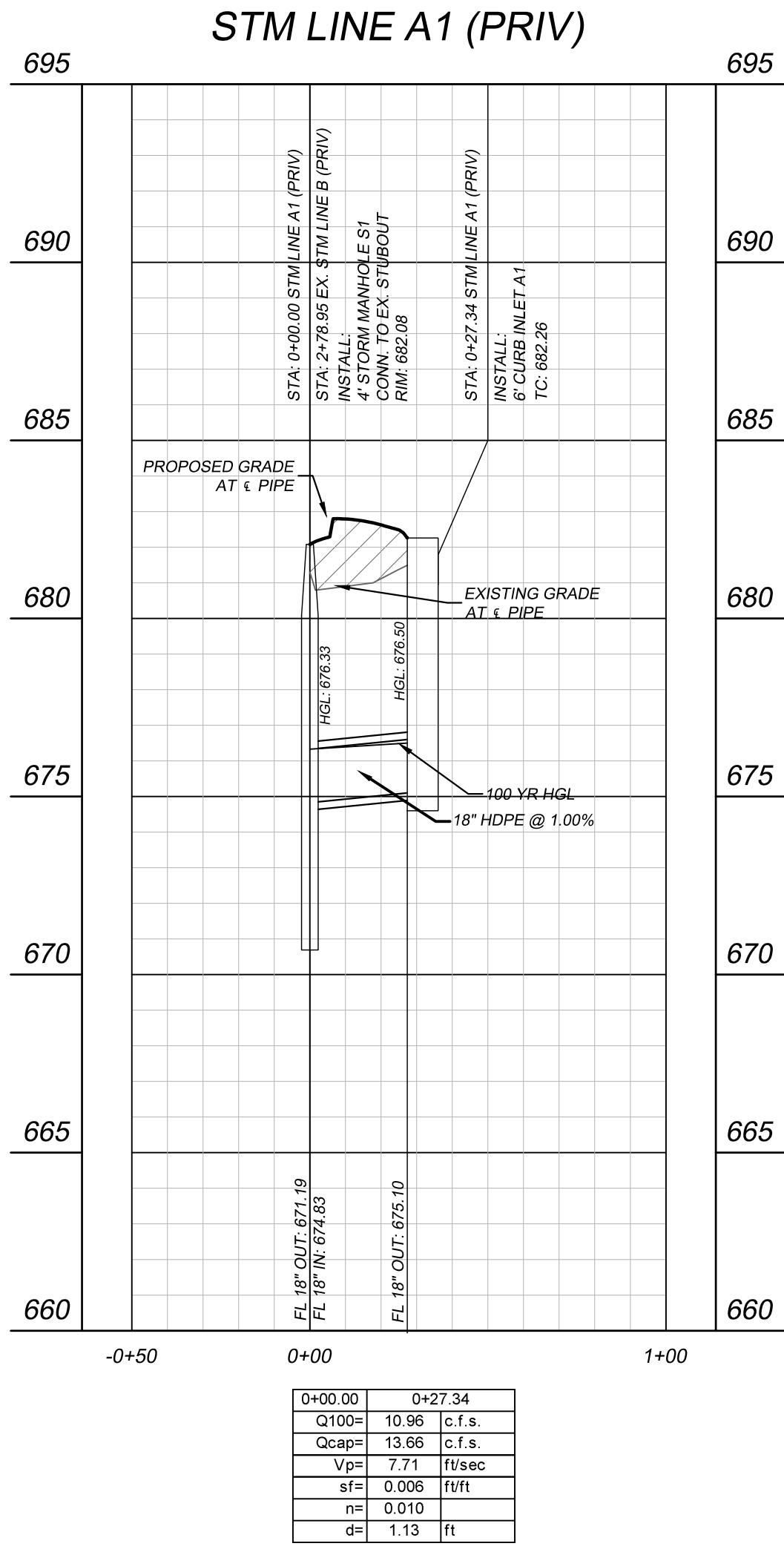


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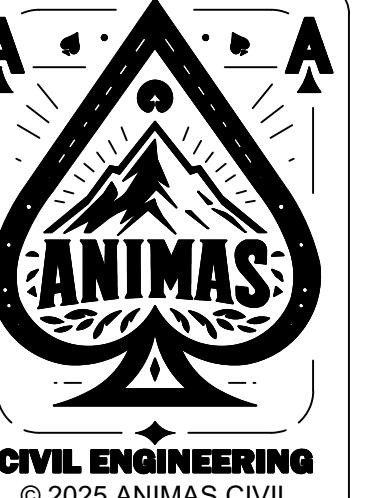
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BROKEN ARROW  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74011





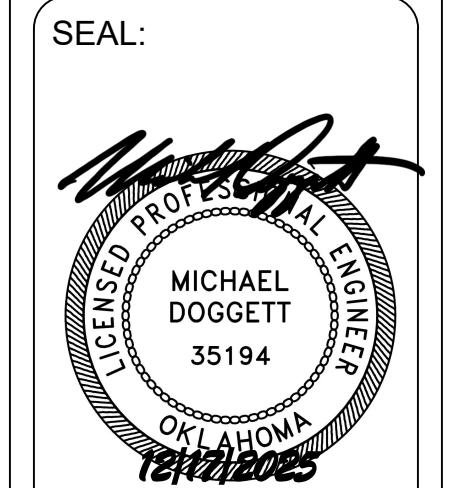
**PROFILE SCALE**  
1"=40' HORIZONTAL  
1" = 4' VERTICAL

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BROKEN ARROW**

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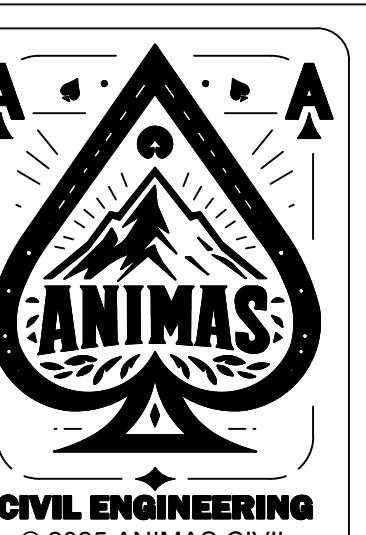
ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:

SHEET TITLE:  
STORM  
PROFILES

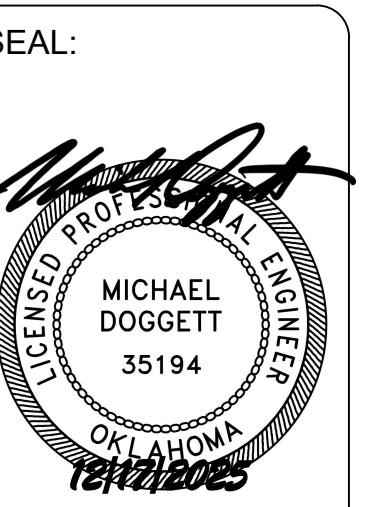
DATE 12/17/25

C-6.02

STORM DRAIN HYDRAULIC CALCULATIONS TABLE																									
FROM	TO	PIPE LENGTH	DRAINAGE AREA			RUNOFF COEFF.	5-YEAR INTENSITY	100-YEAR INTENSITY	Q5	Q100	Q	PIPE PIPE	SIZE (IN)	n	Sf (FT/FT)	HGL			INVERT ELEV.				T/C ELEV.	COMMENTS	
			INCREMENTAL		TOTAL AREA		"C"	(IN/HR)	(IN/HR)	(CFS)	(CFS)					D/S Elev.	U/S Elev.	V1(IN) ft/sec	V2(OUT) ft/sec	V1^2/2g (FT)	V2^2/2g (FT)	FROM (FT)	TO (FT)		
			feet	NO.	AREA		Elev.	Elev.	ft/sec	(FT)	(FT)					(FT)	(FT)								
1	2	3	4	5	6	7	13	14	15	16	18	19	20	21	22	23	24	25	26	27	32	33	34		
LINE A1																									
0+00.00	0+27.34	27.34	A1, A2, A3, A4	1.16	1.160	0.90	6.90	10.50	7.20	10.96	10.96	18	18	0.010	0.0064	676.33	676.50	0.00	7.71	0.00	0.92	674.83	675.10	682.26	6' CURB INLET A1
LINE A2																									
1+46.52	1+80.45	33.93	A2	0.22	0.220	0.90	6.90	10.50	1.37	2.08	2.08	18	18	0.010	0.0002	676.89	677.26	0.00	6.02	0.00	0.56	676.29	676.87	679.54	6' CURB INLET A2
0+46.17	1+46.52	100.35	A3	0.13	0.350	0.90	6.90	10.50	0.81	1.23	3.31	18	18	0.010	0.0006	676.55	676.89	6.02	5.01	0.56	0.39	675.48	676.29	681.30	STORM MANHOLE S2
0+00.00	0+46.17	46.17	A4	0.10	0.450	0.90	6.90	10.50	0.62	0.95	4.25	18	18	0.010	0.0010	676.50	676.55	5.01	5.51	0.39	0.47	675.10	675.48	683.46	45° WYE, LINE A4
LINE A3																									
0+00.00	1+27.80	127.80	A3	0.13	0.130	0.90	6.90	10.50	0.81	1.23	1.23	18	18	0.010	0.0001	676.89	678.25	0.00	4.88	0.00	0.37	676.29	677.95	682.73	6' CURB INLET A3
LINE A4																									
0+00.00	0+31.32	31.32	A4	0.10	0.100	0.90	6.90	10.50	0.62	0.95	0.95	6	6	0.010	0.0168	676.55	680.23	0.00	10.72	0.00	1.78	675.98	680.00	685.00	ROOF DRAIN

ALL CURB INLETS SHALL BE INSTALLED  
PER BA ST-27 STANDARD DETAILS.

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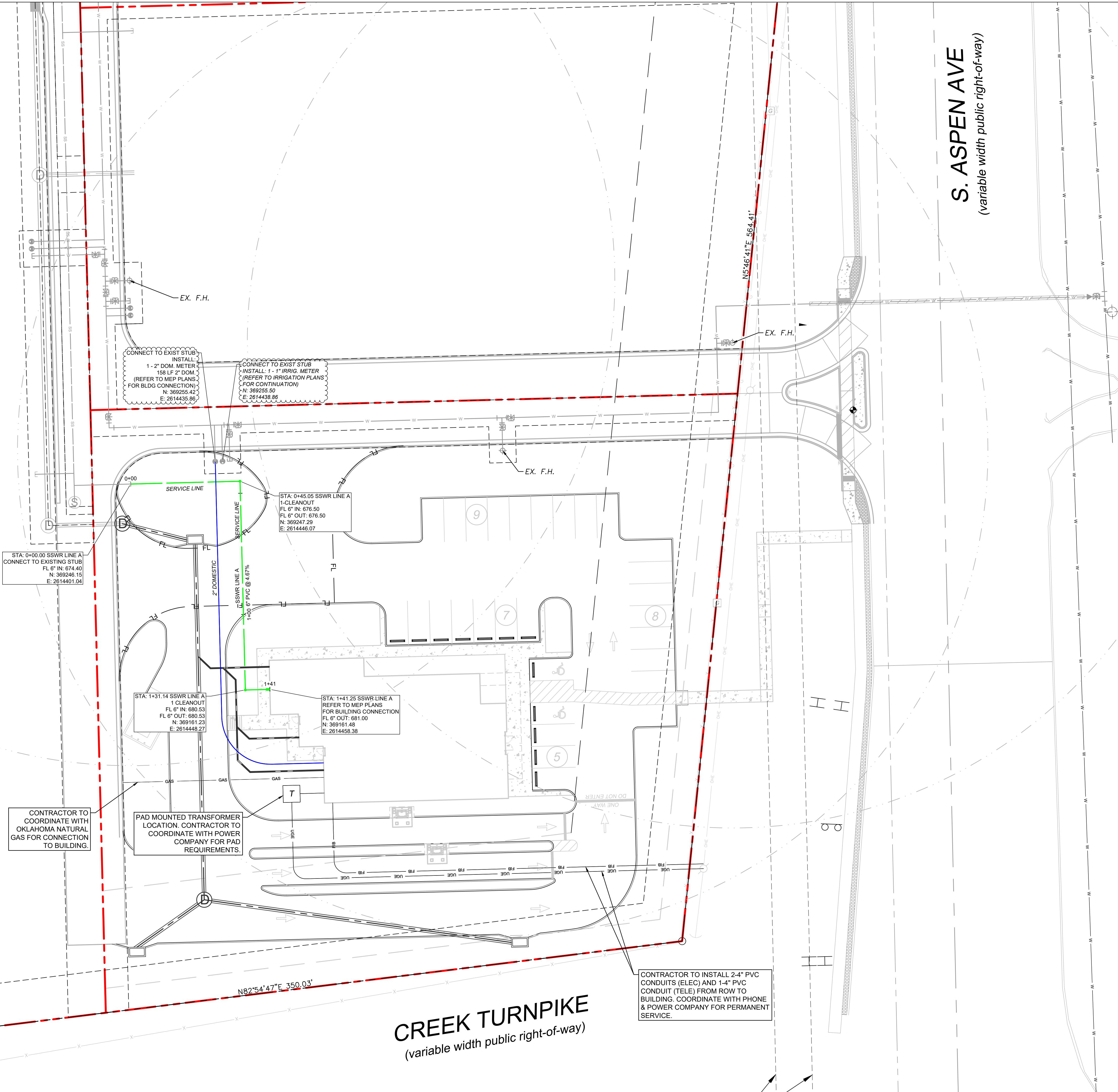
TINKER FEDERAL CREDIT UNION  
BROKEN ARROW  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:

SHEET TITLE:  
DRAINAGE  
CALCULATIONS  
DATE 12/17/25

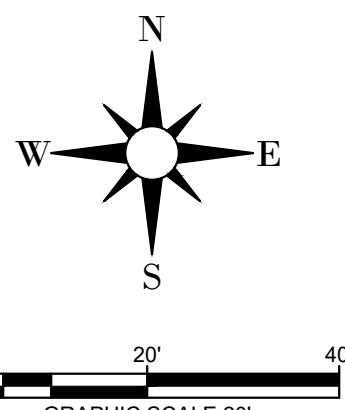
C-6.03

Wednesday, December 17, 2025 6:15:10 PM



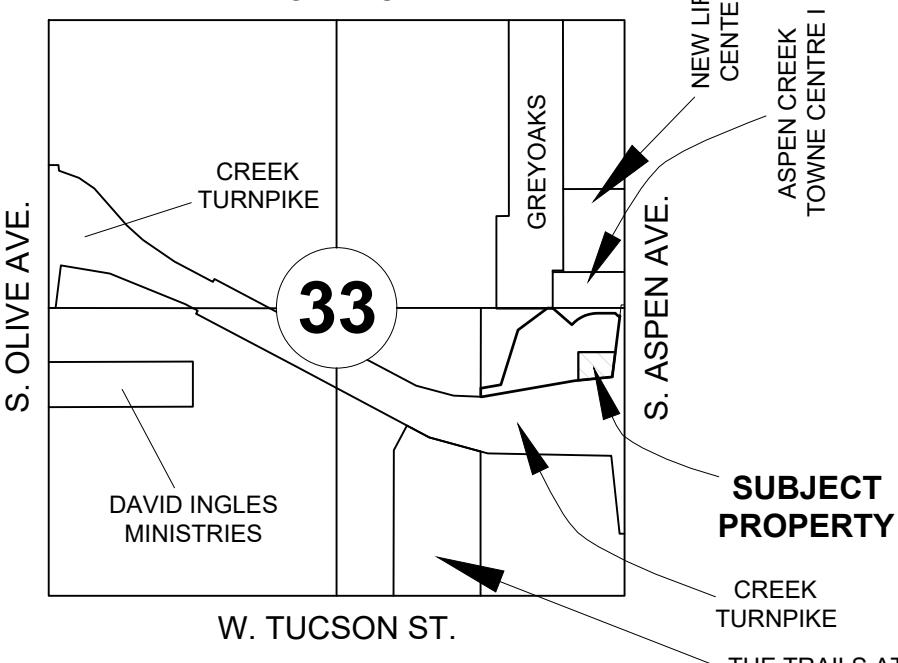
# S. ASPEN AVE

Know what's **below**.  
**Call** before you dig.



## **VICINITY MAP (NOT TO SCALE)**

R14E



## LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED FIRE HYDRANT COVERAGE
- PROPOSED SANITARY SEWER SERVICE LINE
- PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE
- OHE EXISTING OVERHEAD ELECTRIC
- CBL EXISTING CABLE LINE
- GAS EXISTING GAS LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM MANHOLE
- EXISTING SAN. SWR. MANHOLE
- EXISTING SIGN

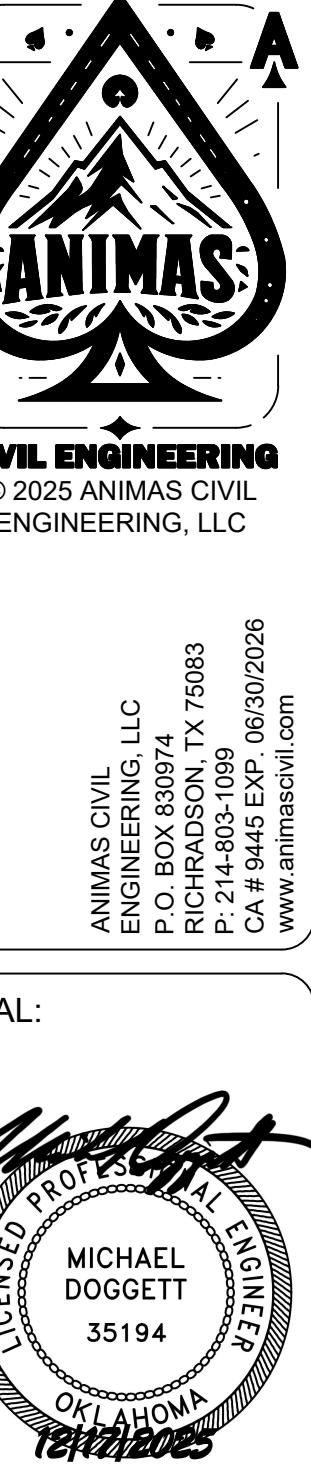
## UTILITY NOTES

1. SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
2. WATER AND SEWER LINES SHALL STUB 5 FEET FROM BUILDING FOR SERVICE CONNECTIONS UNLESS OTHERWISE NOTED.
3. A FIVE FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
4. REFER TO DETAILS FOR WATER METER, METER BOX, FIRE HYDRANTS, VALVES, VALVE BOXES AND SERVICE INSTALLATION.
5. REFER TO DETAILS FOR TRENCHING, BEDDING, BACK FILL, AND TRENCH COMPACTION REQUIREMENTS.
6. WATER AND SANITARY SEWER PIPE SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRETREATED CONCRETE PIPE, OR PVC PIPE.
7. PVC SLEEVES SHALL CONSIST OF 2 - 4" SCHEDULE 40 PVC CONDUITS, BURIED 2' MIN. BELOW FINISHED GRADE. SLEEVES SHALL EXTEND A MINIMUM OF 2' BEYOND PAVING.
8. WATER AND SANITARY SEWER SEPARATION (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH CITY AND DEQ

**CAUTION!!**

CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL  
AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES  
FOR TO START OF CONSTRUCTION AND SHALL NOTIFY  
THE CONSTRUCTION MANAGER AND ENGINEER OF ANY  
CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE  
FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT  
SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY  
EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR  
SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT  
LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION  
IN VICINITY.

REVIEWERS  
SUGGESTIONS



# TINKER FEDERAL CREDIT UNION BROKEN ARROW

5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT 02001

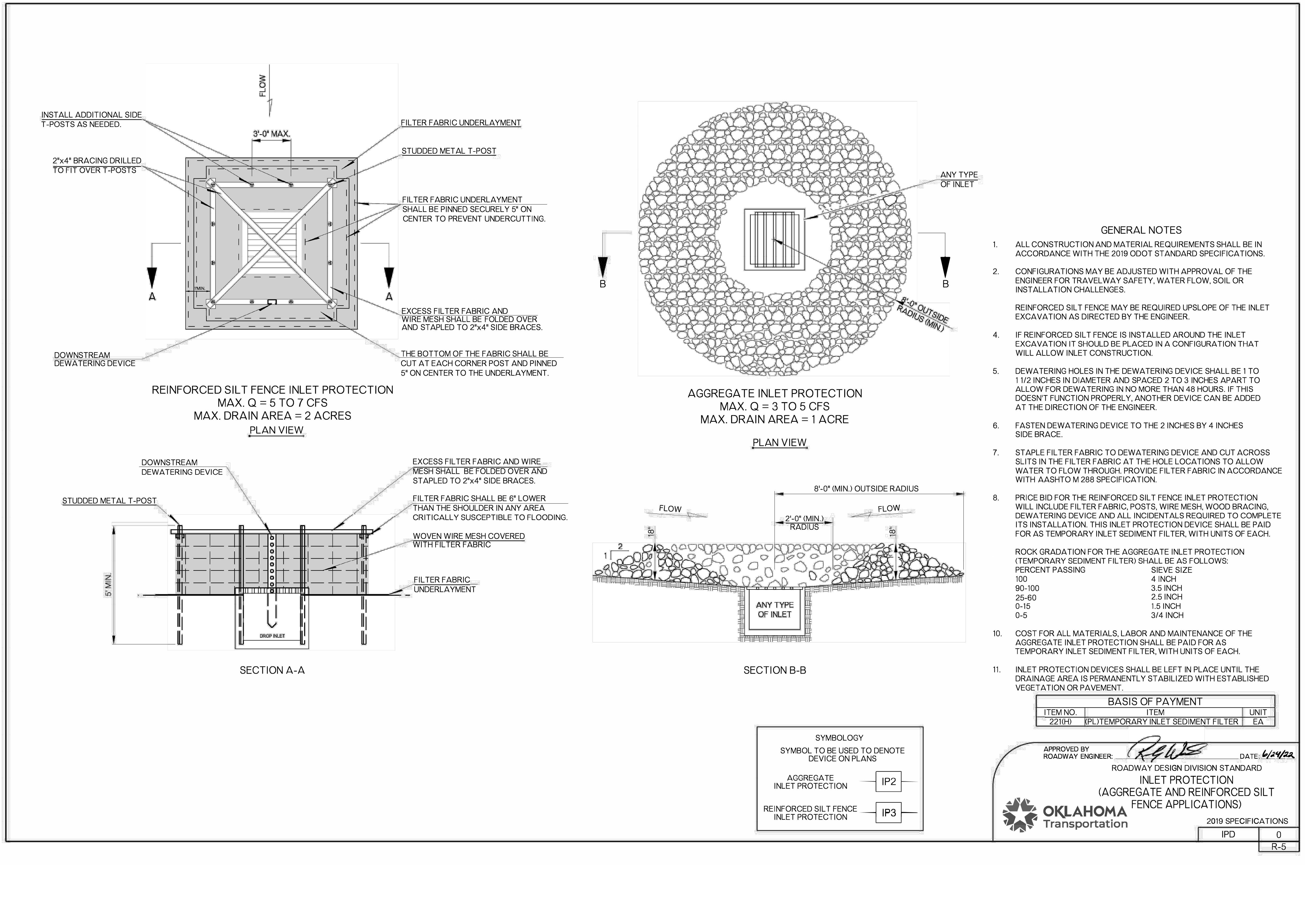
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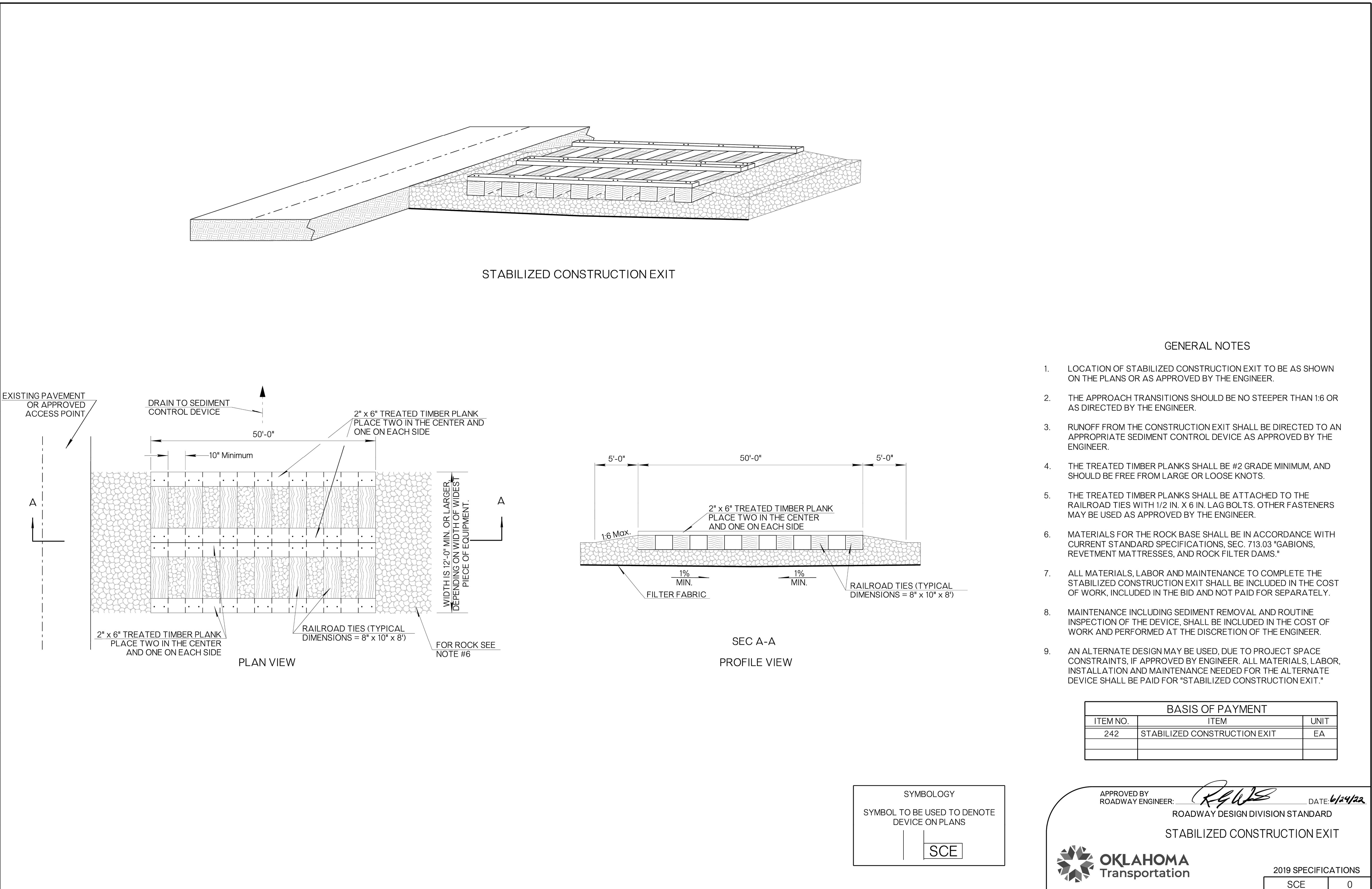
**SHEET TITLE:**  
**UTILITY PLAN**

DATE 12/17/25

C-7.01







## GENERAL NOTES

- LOCATION OF STABILIZED CONSTRUCTION EXIT TO BE AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 1:6 OR AS DIRECTED BY THE ENGINEER.
- RUNOFF FROM THE CONSTRUCTION EXIT SHALL BE DIRECTED TO AN APPROPRIATE SEDIMENT CONTROL DEVICE AS APPROVED BY THE ENGINEER.
- THE TREATED TIMBER PLANKS SHALL BE #2 GRADE MINIMUM, AND SHOULD BE FREE FROM LARGE OR LOOSE KNOTS.
- THE TREATED TIMBER PLANKS SHALL BE ATTACHED TO THE RAILROAD TIES WITH 1/2 IN. X 6 IN. LAG BOLTS. OTHER FASTENERS MAY BE USED AS APPROVED BY THE ENGINEER.
- MATERIALS FOR THE ROCK BASE SHALL BE IN ACCORDANCE WITH CURRENT STANDARD SPECIFICATIONS, SEC. 713.03 "GABIONS, REVETMENT MATTRESSES, AND ROCK FILTER DAMS."
- ALL MATERIALS, LABOR AND MAINTENANCE TO COMPLETE THE STABILIZED CONSTRUCTION EXIT SHALL BE INCLUDED IN THE COST OF WORK, INCLUDED IN THE BID AND NOT PAID FOR SEPARATELY.
- MAINTENANCE INCLUDING SEDIMENT REMOVAL AND ROUTINE INSPECTION OF THE DEVICE, SHALL BE INCLUDED IN THE COST OF WORK AND PERFORMED AT THE DISCRETION OF THE ENGINEER.
- AN ALTERNATE DESIGN MAY BE USED, DUE TO PROJECT SPACE CONSTRAINTS, IF APPROVED BY ENGINEER. ALL MATERIALS, LABOR, INSTALLATION AND MAINTENANCE NEEDED FOR THE ALTERNATE DEVICE SHALL BE PAID FOR "STABILIZED CONSTRUCTION EXIT."

BASIS OF PAYMENT		
ITEM NO.	ITEM	UNIT
242	STABILIZED CONSTRUCTION EXIT	EA

APPROVED BY  
ROADWAY ENGINEER: *Reed* DATE: 6/24/22

ROADWAY DESIGN DIVISION STANDARD

STABILIZED CONSTRUCTION EXIT

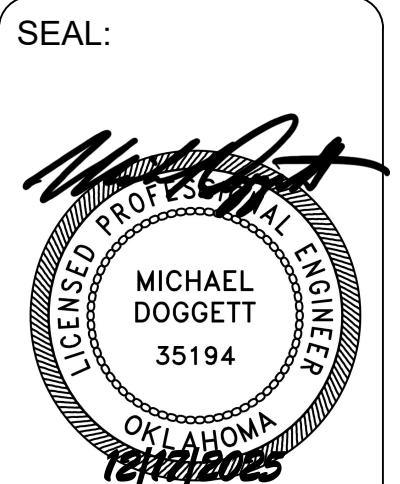
OKLAHOMA Transportation

2019 SPECIFICATIONS

SCE 0

R-11

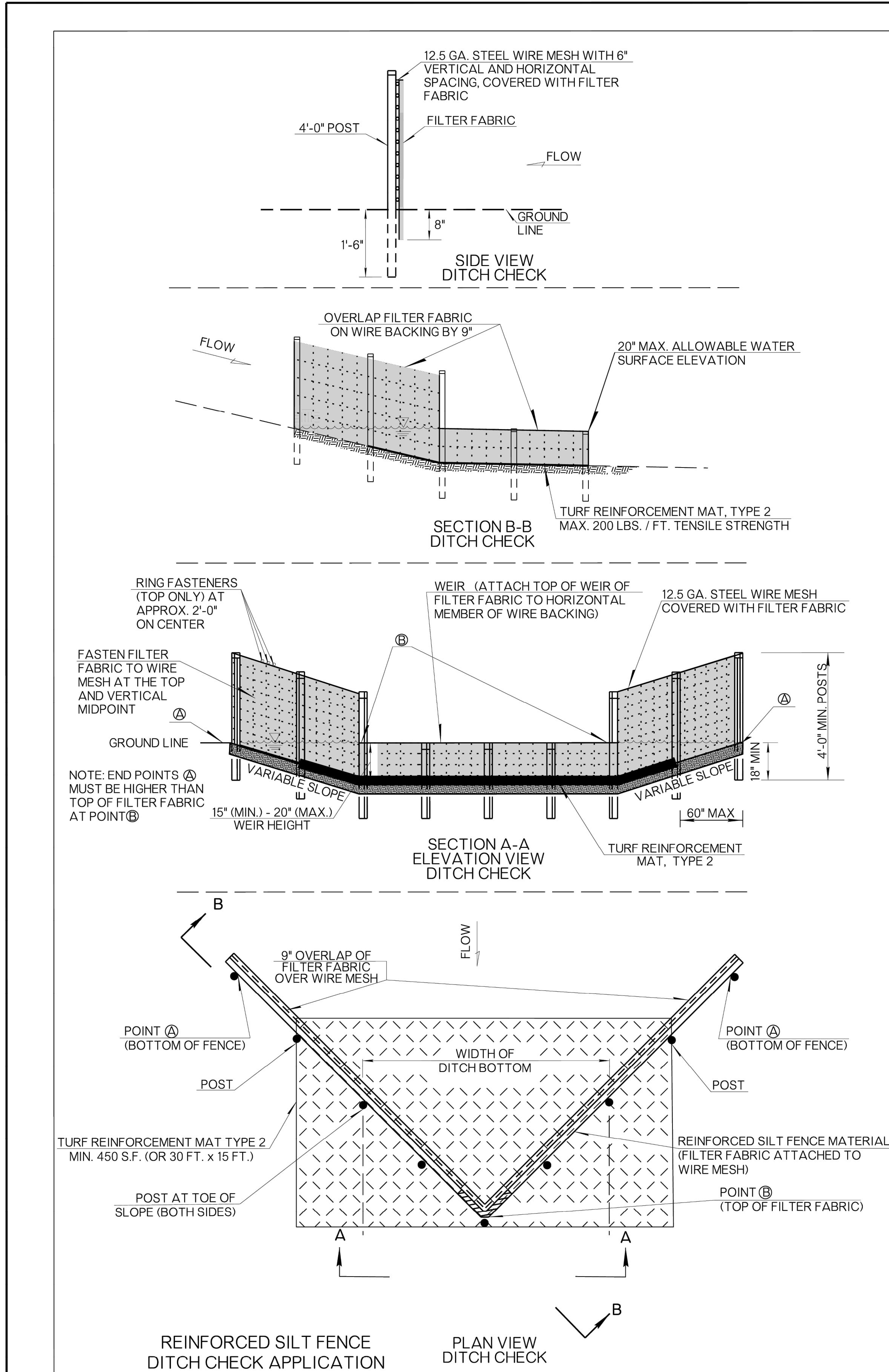
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ENGINEERING, LLC  
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C: # 945-EXP 06/30/2026  
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BROKEN ARROW  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74020

ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:  
SHEET TITLE:  
EROSION CONTROL DETAILS  
DATE 12/17/25

C-9.02

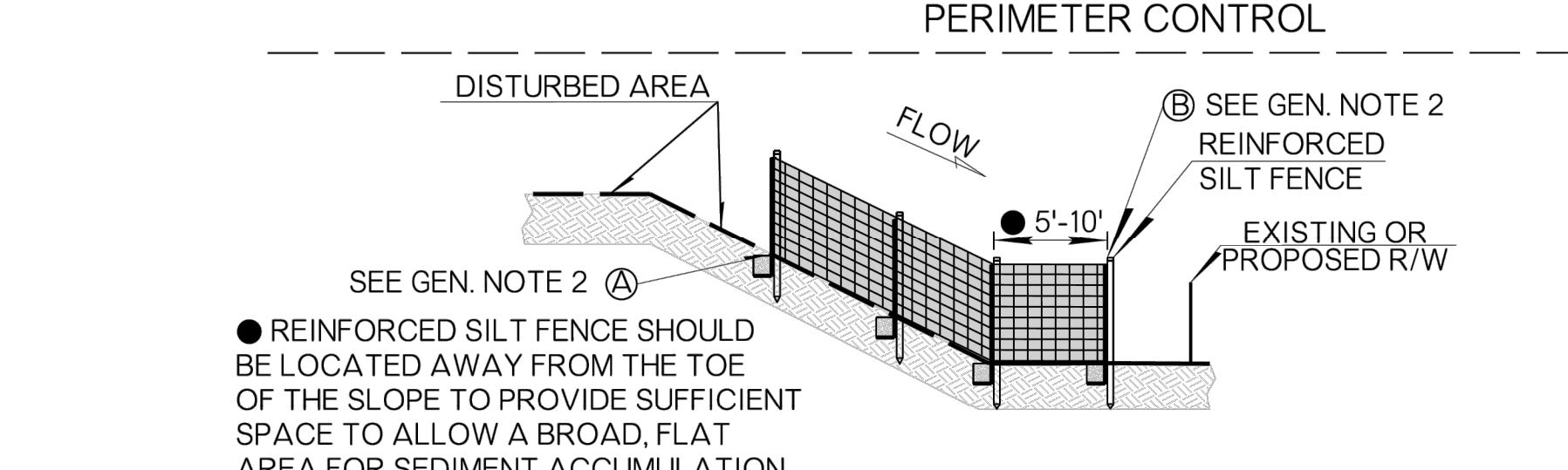


SUGGESTED LENGTHS OF EACH SECTION OF SILT FENCE ARE AS FOLLOWS:

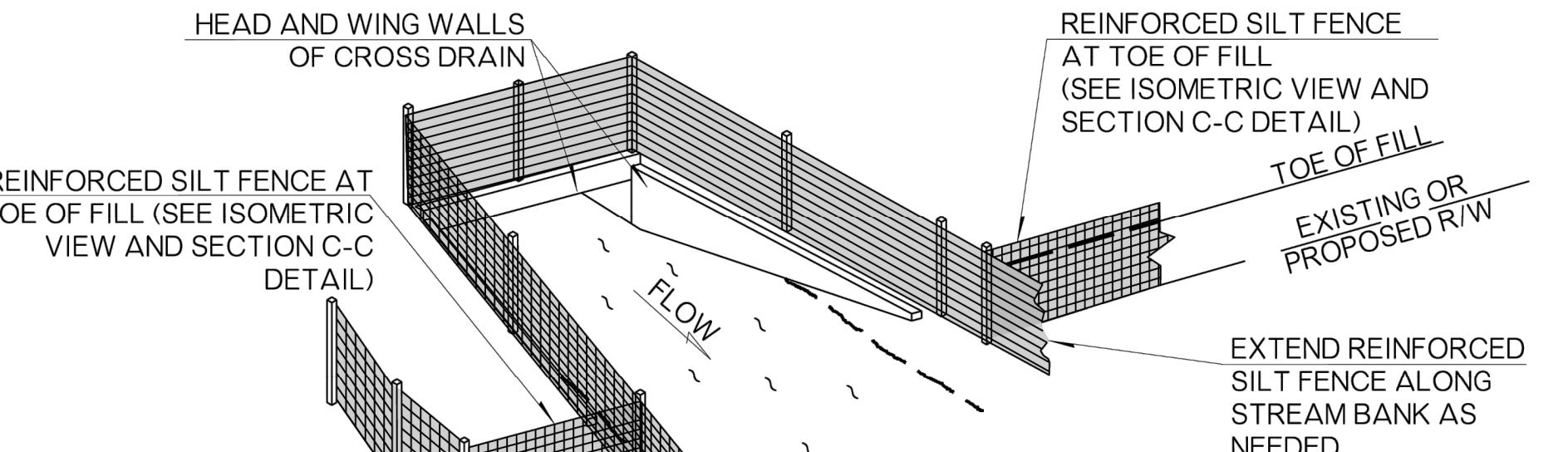
LONG SLOPE	LENGTH
5%	60' MAX.
4%	75' MAX.
3%	100' MAX.
2%	150' MAX.
1%	300' MAX.

● LENGTH IS ONLY THE LONGITUDINAL LENGTH PARALLEL TO THE TOE OF SLOPE. LENGTH OF 'J-HOOK' IS DEPENDENT UPON FILL SLOPE.

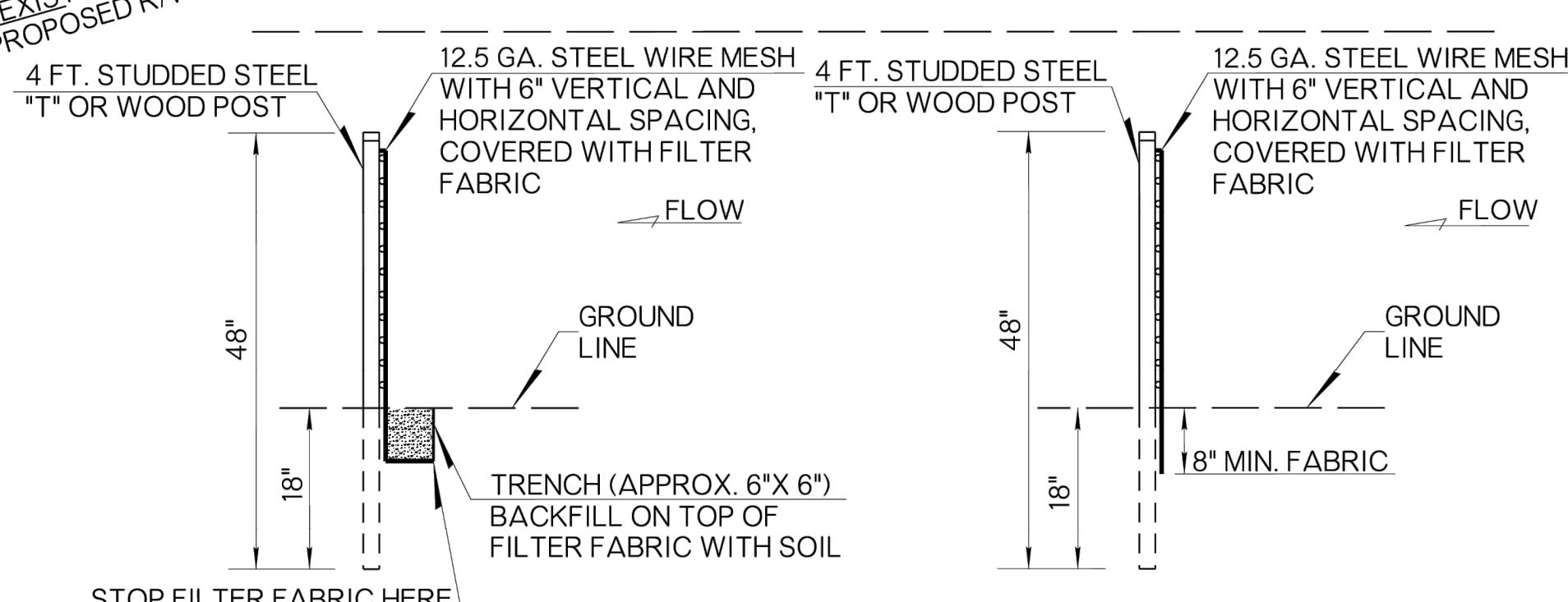
ISOMETRIC VIEW AT TOE OF SLOPE PERIMETER CONTROL



SECTION C - C PERIMETER CONTROL TOE OF SLOPE



ISOMETRIC VIEW REINFORCED SILT FENCE AT CROSS DRAIN



SIDE VIEW - METHOD I  
TRENCHING INSTALLATION  
(PREFERRED METHOD)

REINFORCED SILT FENCE  
PERIMETER CONTROL APPLICATIONS

SIDE VIEW - METHOD II  
MECHANICAL Slicing INSTALLATION

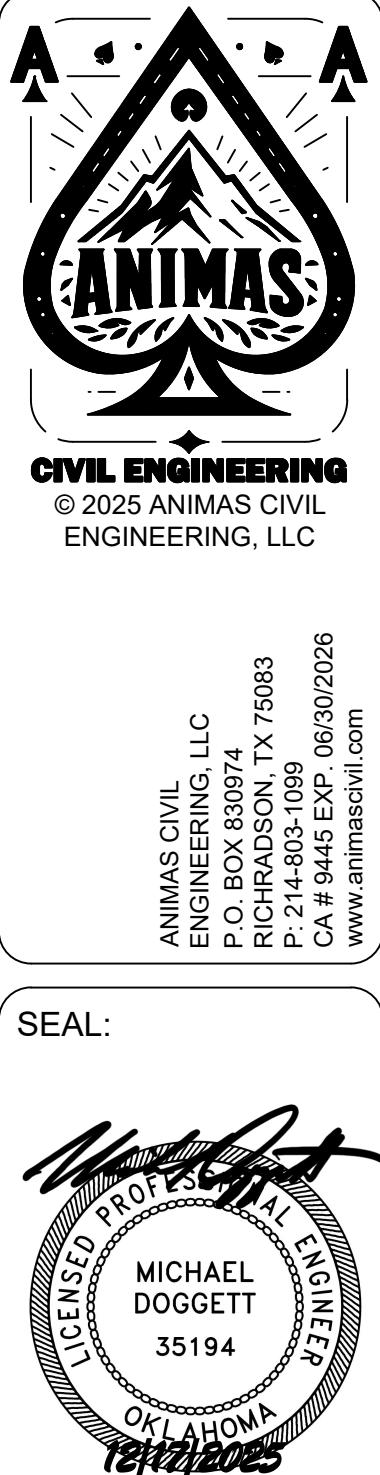
#### GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE 2019 ODOT STANDARD SPECIFICATIONS.
2. AFTER THE REINFORCED SILT FENCE IS INSTALLED IN THE DITCH, IF THE TOP OF THE FILTER FABRIC (WEIR) AT POINT B IS HIGHER THAN THE BOTTOM OF THE FENCE AT POINT A (EDGES OF FENCE) THEN NO WEIR IS REQUIRED.
3. REINFORCED SILT FENCE SHOULD BE PLACED WELL INSIDE RIGHT-OF-WAY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR ADDITIONAL BEST MANAGEMENT PRACTICES SUCH AS VEGETATED BUFFERS.
4. THE CONTRACTOR MAY ELECT TO USE EITHER INSTALLATION: METHOD I OR METHOD II.
5. METHOD II INSTALLATION SHALL BE ACCOMPLISHED USING AN IMPLEMENT THAT IS MANUFACTURED FOR THE APPLICATION AND PROVIDES A CONFIGURATION MEETING THE REQUIREMENTS OF THE DETAIL.
6. REINFORCED SILT FENCE SHALL BE A FILTER FABRIC SUPPORTED BETWEEN POSTS WITH A WIRE MESH BACKING. ATTACH THE FILTER FABRIC TO THE WIRE MESH USING 16 GA. GALVANIZED STEEL C-RING STAPLES OR OTHER SIMILAR ACCEPTABLE MEANS. PROVIDE FILTER FABRIC IN ACCORDANCE WITH AASHTO M 288 SPECIFICATION.
7. WOOD POSTS SHALL BE OF SOUND QUALITY WOOD WITH A NOMINAL CROSS SECTIONAL AREA OF 1.5 X 1.5 INCHES. STEEL POSTS SHALL BE STANDARD T AND U SECTIONS WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND BENDING RESISTANCE.
8. FILTER FABRIC SHALL BE FURNISHED WITH A SUITABLE WRAPPING FOR PROTECTION AGAINST MOISTURE AND EXTENDED ULTRAVIOLET EXPOSURE PRIOR TO PLACEMENT. ROLLS SHALL BE STORED IN A MANNER WHICH PROTECTS THEM FROM THE ELEMENTS. IF STORED OUTDOORS, THEY SHALL BE ELEVATED AND PROTECTED WITH A WATERPROOF COVER.
9. WIRE MESH BACKING SHALL BE MADE OF 12.5 GAUGE STEEL. THE VERTICAL AND HORIZONTAL SPACING OF THE WIRE SHALL BE 6 INCHES. ATTACH WIRE MESH TO POSTS BY MEANS OF 11 GA. ALUMINUM FENCE WIRE TIES AT 6.5 INCHES LONG, OR APPROVED SIMILAR.
10. TIEBACK DESIGNS SHOULD BE INSTALLED SUCH THAT THE BOTTOM OF THE END OF THE SILT FENCE (WHERE THE J-HOOK IS INSTALLED ON THE SLOPE), OR POINT A, SHOULD BE AT A HIGHER ELEVATION THAN THE TOP OF THE SILT FENCE AT THE TOE OF THE FILL SLOPE, OR POINT B. SEE SECTION C-C FOR VISUAL.
11. TIEBACK DESIGNS SHOULD ONLY BE USED WHEN THERE IS RUNOFF FLOW BOTH DOWN THE FILL SLOPE AND LONGITUDINALLY IN THE DIRECTION OF THE ROAD. MEASURE SILT FENCE IN PLACE, INCLUDING THE STRAIGHT SECTION AND THE 'J-HOOK' SECTION.
12. PRICE BID FOR REINFORCED SILT FENCE SHALL INCLUDE COST OF ALL MATERIALS AND LABOR NECESSARY FOR CONSTRUCTION, MAINTENANCE AND REMOVAL, REGARDLESS OF APPLICATION.
13. TEMPORARY (STANDARD) SILT FENCE MAY BE USED IN LIEU OF REINFORCED SILT FENCE IF APPROVED BY THE ENGINEER. TEMPORARY SILT FENCE IS TYPICALLY USED WHERE SHEET FLOW OCCURS. REINFORCED SILT FENCE IS USUALLY USED WHERE CONCENTRATION FLOW OCCURS.

BASIS OF PAYMENT		
ITEM NO.	ITEM	UNIT
221(B)	TEMPORARY SILT FENCE	LF
221(C)	REINFORCED SILT FENCE	LF

APPROVED BY  
ROADWAY ENGINEER: *R. G. J.* DATE: 6/24/22  
ROADWAY DESIGN DIVISION STANDARD

REINFORCED SILT FENCE  
INSTALLATION AND APPLICATIONS  
OKLAHOMA  
Transportation  
2019 SPECIFICATIONS  
RSF 0  
R-6



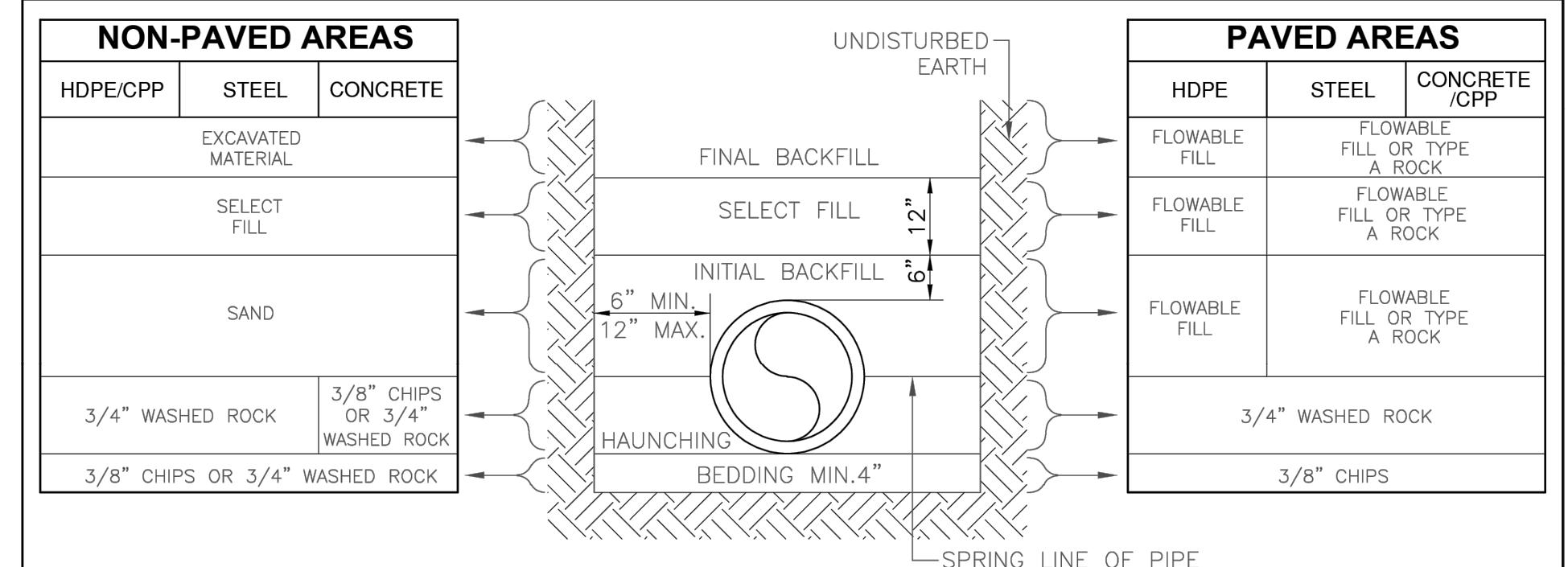
TINKER FEDERAL CREDIT UNION  
BROKEN ARROW  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:

SHEET TITLE:  
EROSION  
CONTROL  
DETAILS  
DATE 12/17/25

C-9.03



**NOTES:**

1. SELECT FILL CONSISTS OF EXCAVATED MATERIALS CONTAINING NO ROCKS LARGER THAN 2 INCHES.
2. BEDDING REQUIRED FOR ALL STORM SEWER REPLACEMENT PROJECTS, IN ROCK EXCAVATION, AND FOR LEVELING TRENCH IN NEW INSTALLATION.
3. COMPACTION REQUIREMENTS:
  - a. NON-PAVED AREAS: 90% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS AND 85% FOR COHESIVE SOILS.
  - b. PAVED AREAS: 95% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS.
4. FLOWABLE FILL MAY BE SUBSTITUTED FOR ALL MATERIALS IN ROAD CROSSING.
5. REFER TO MFG. GUIDELINES FOR HP STORM INSTALLATION METHODS.

**STORM SEWER PIPE BEDDING DETAIL**

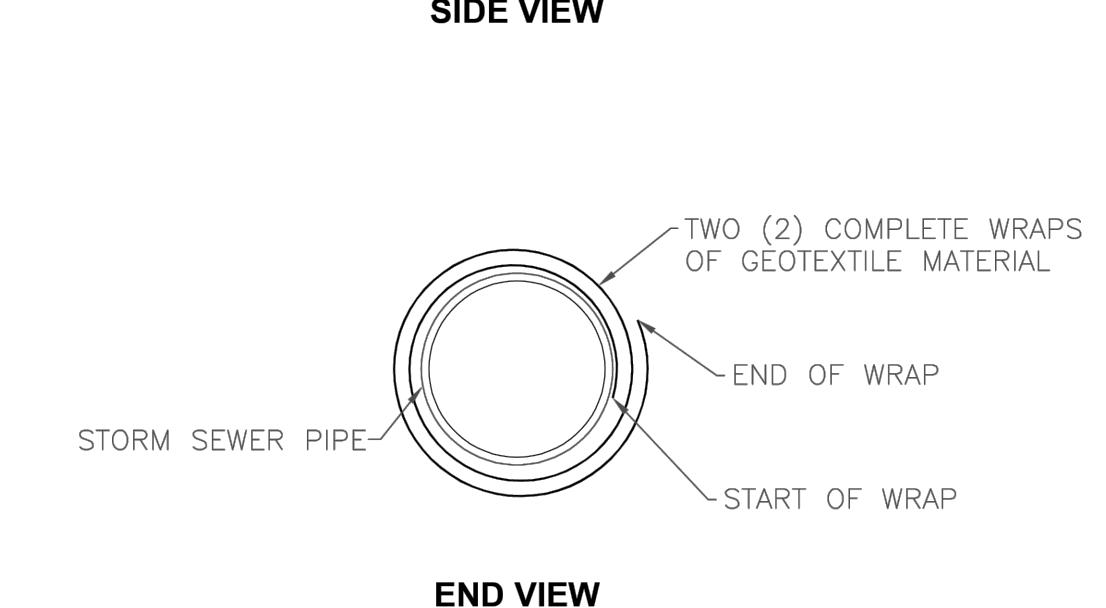
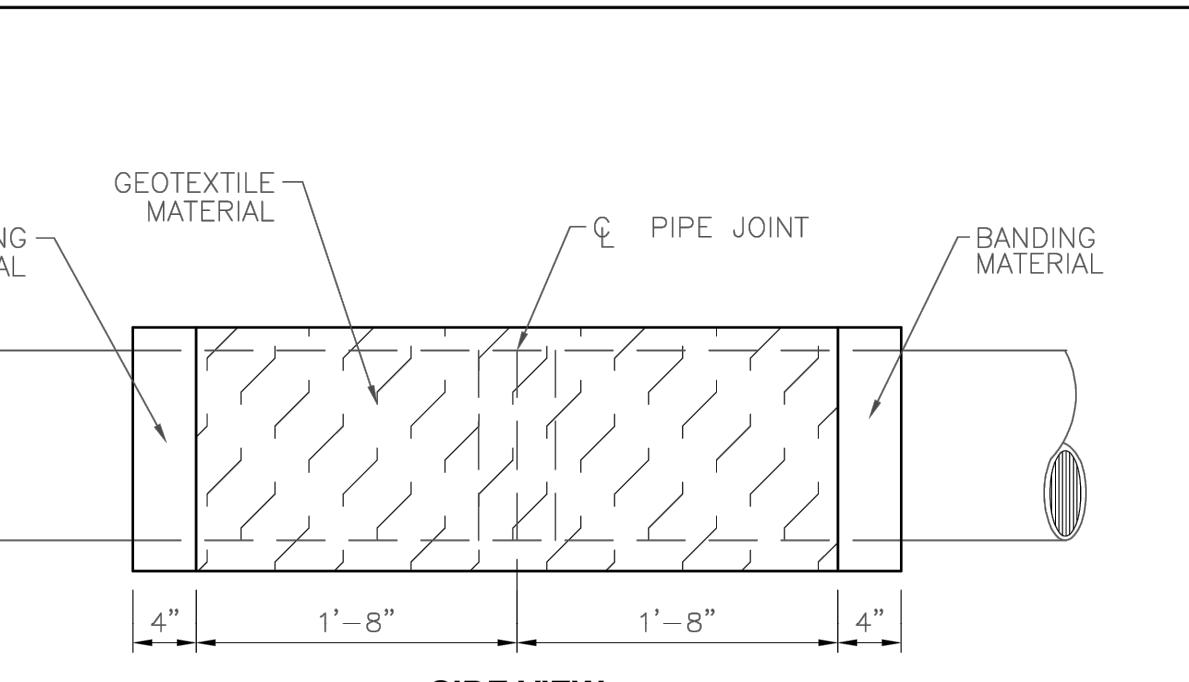
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LAST REVISION DATE: 8/01/99

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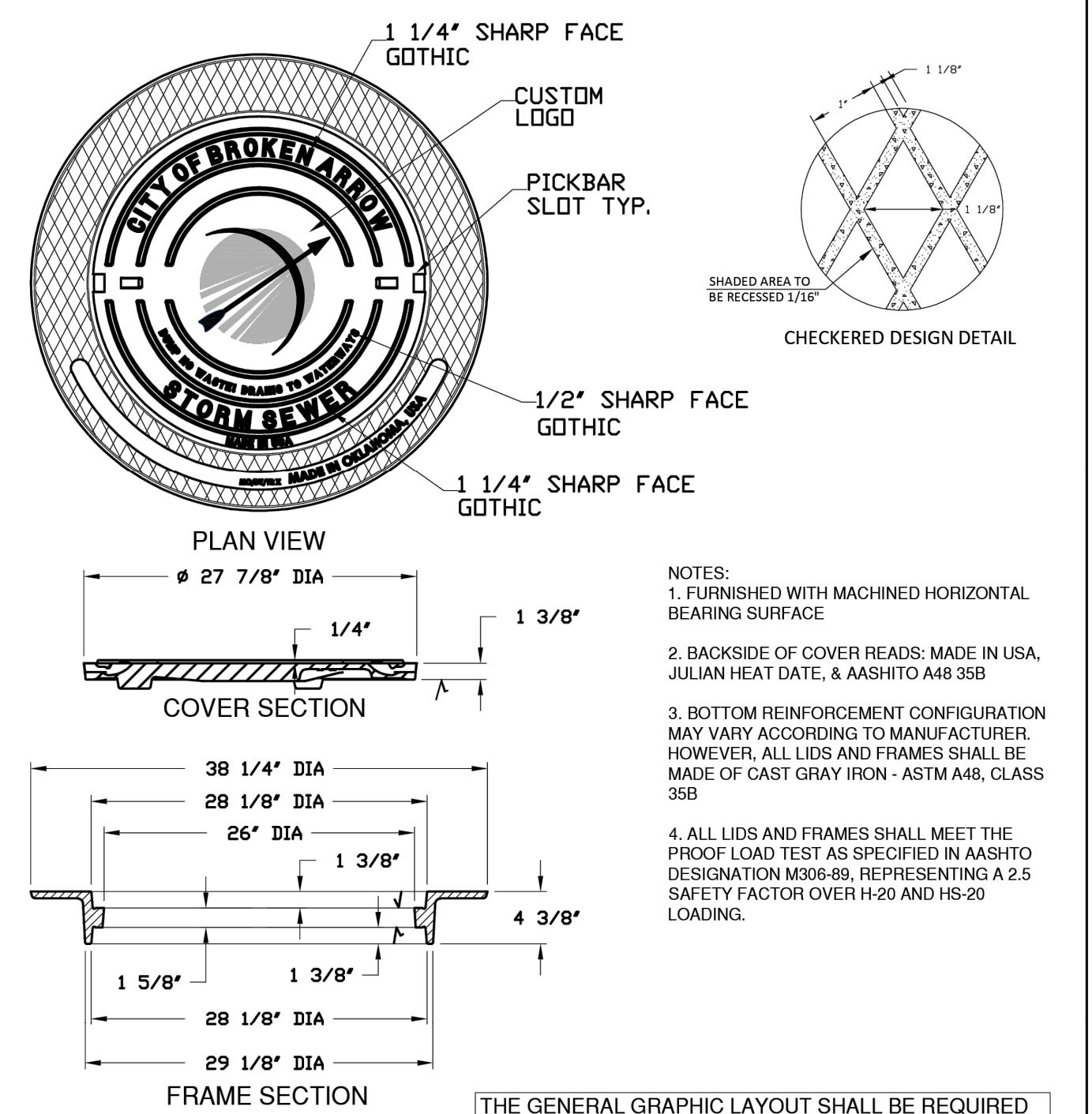
CHECKED BY: TSR

APPROVED: KDS

DATE: 02/01/2024



**NOTE:**  
FOR SPECIFIC REQUIREMENTS SEE SECTION 204.08.d

**STORM SEWER JOINT WRAPPING DETAIL**

THE GENERAL GRAPHIC LAYOUT SHALL BE REQUIRED. VARIANCE IN LAYOUT MAY BE APPLIED FOR FROM THE MANUFACTURER.  
ALL OPEN GRATE LID CONFIGURATIONS SHALL BE SUPPLIED IN SIMILAR RING AND LID MODEL SERIES AND CITY DESIGNATION IS NOT REQUIRED ON THESE LIDS.

**STORM SEWER MANHOLE RING & LID**

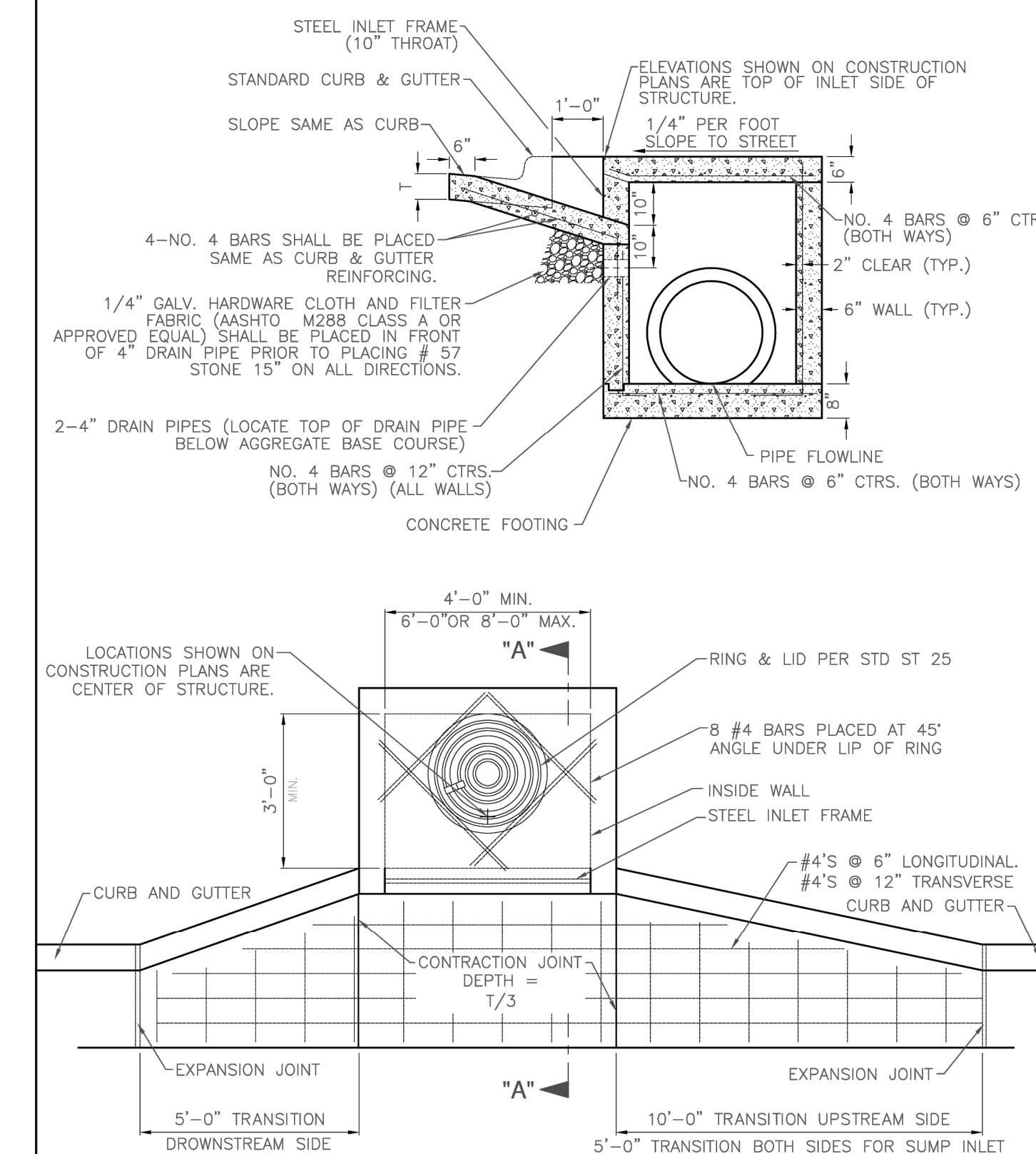
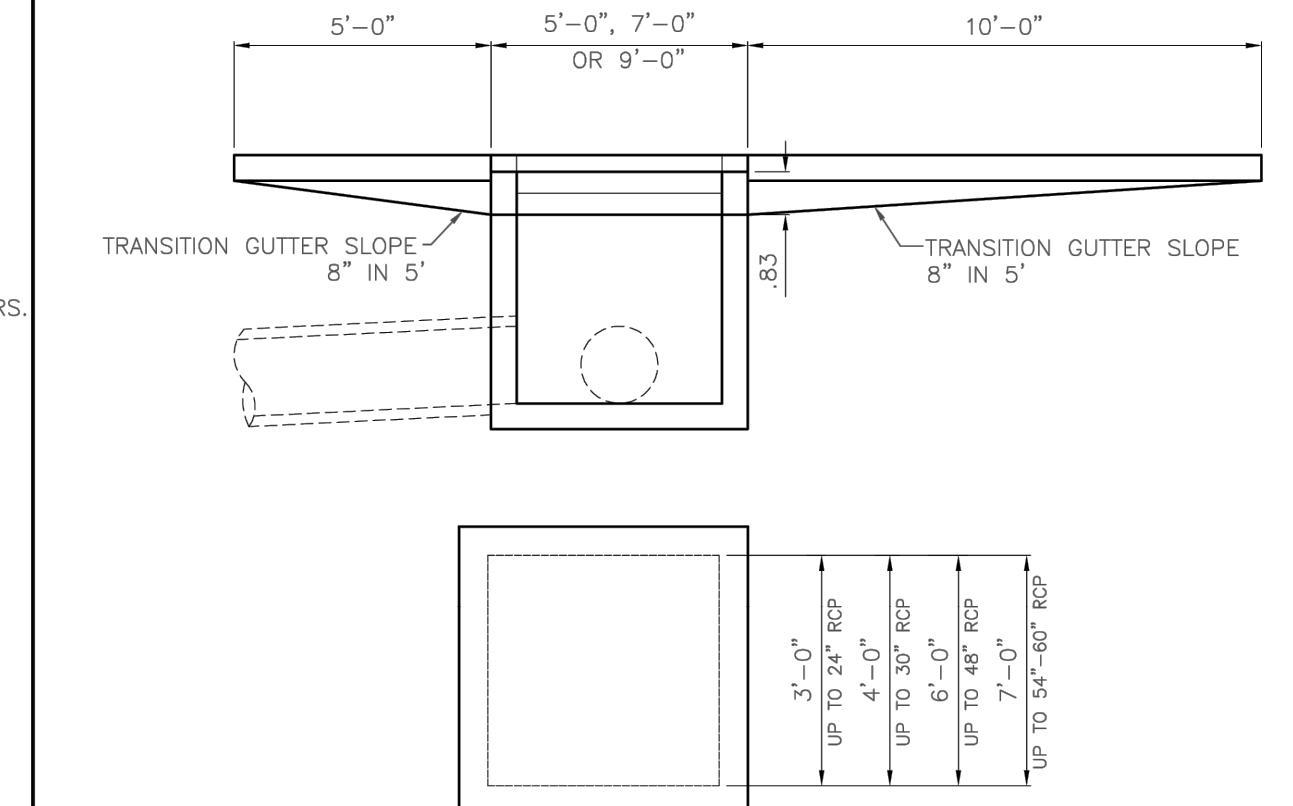
STANDARD DRAWING: STD ST25  
LAST REVISION DATE: 08/01/1999

DRAWN BY: ZSS

CHECKED BY: TSR

APPROVED: KDS

DATE: 02/01/2024

**RECESSED CURB INLET DETAIL**

**NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BROKEN ARROW STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION PLANS SHALL BE THE "L" DIMENSION AND THE SECOND DIMENSION LISTED SHALL BE THE "W" DIMENSION. THE MINIMUM "W" DIMENSIONS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN.
3. THE EXPANSION JOINTS SHALL BE PREFORMED 3/4" FIBER MESH MATERIAL. FIBER MATERIAL SHALL MEET THE FOLLOWING SPECIFICATIONS ASTM D1751, ASSHTO M 213. FIBER MATERIAL SHALL BE W.R. MEADOWS, SEALIGHT FIBER EXPANSION, OR APPROVED EQUAL.
4. ALL CONCRETE SHALL MEET THE CITY OF BROKEN ARROW CLASS BA1.
5. ALL EXPOSED EDGES SHALL HAVE A 3/4" CHAMFER.
6. INLET TOPS SHALL FOLLOW THE SLOPE OF THE TOP OF CURB LINE. INLET TOPS SHALL SLOPE 1/4" PER FOOT TO THE STREET.
7. INLET TOPS THAT MEET SIDEWALKS OR OTHER CONCRETE CONSTRUCTION SHALL HAVE A CONTINUOUS EXPANSION JOINT ON ALL SIDES THAT MEET OTHER CONCRETE STRUCTURES.
8. ALL STORM SEWER STRUCTURES SHALL BE CAST-IN-PLACE OR PRE-CAST.
9. ALL PRE-CAST STRUCTURES WILL HAVE SHOP DRAWINGS APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT.
10. ALL PIPE CONNECTIONS TO PRE-CAST STRUCTURES SHALL HAVE A MINIMUM 6" THICK COLLAR OF CLASS BA1 CONCRETE ON THE EXTERIOR OF THE INLET WALL.

**STEEL INLET FRAME NOTES**

1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
2. ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
3. THE ENTIRE FRAME SHALL BE HOT DIPPED ZINC COATED IN ACCORDANCE WITH ASTM A-123.

**RECESSED CURB INLET DETAIL**

1 OF 2



STANDARD DRAWING: STD ST27  
LAST REVISION DATE: 2/11/2008

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DATE: 02/01/2024



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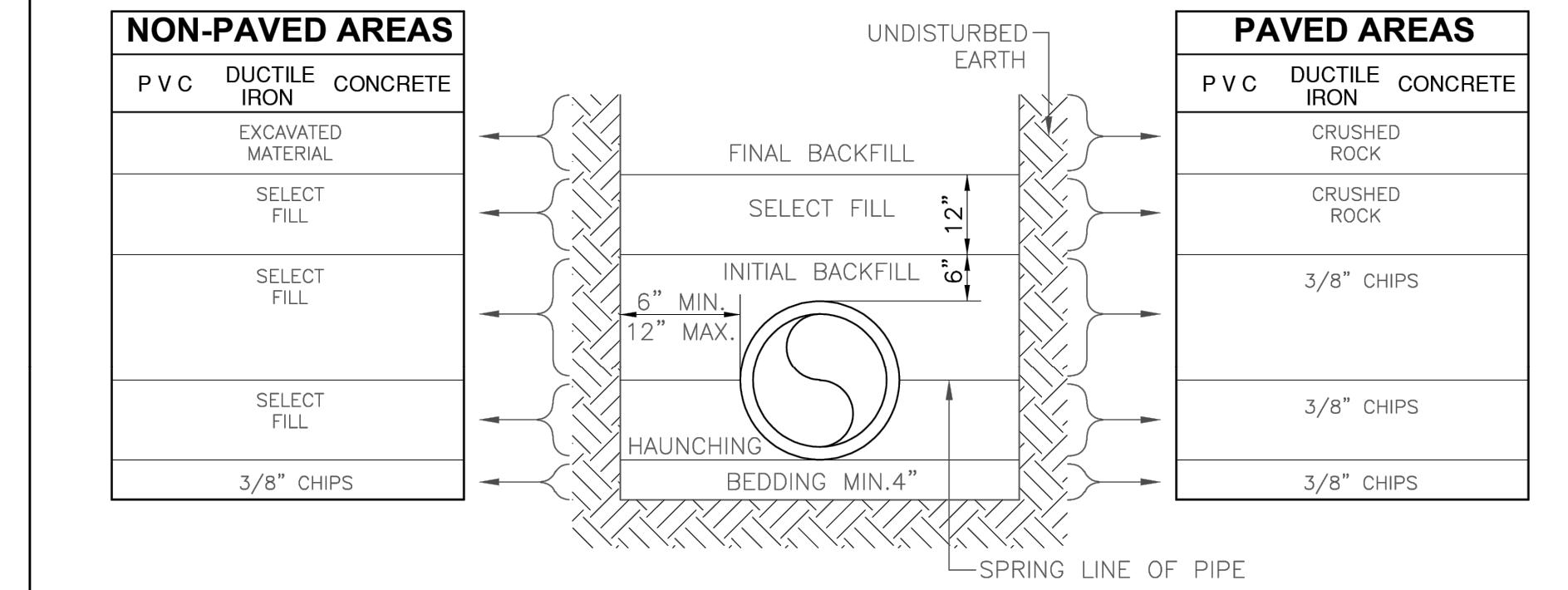
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DATE: 02/01/2024

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APPROVED: KDS

**NOTES:**

1. SELECT FILL CONSISTS OF EXCAVATED MATERIALS CONTAINING NO ROCKS LARGER THAN 2 INCHES.
2. CRUSHED ROCK SHALL BE ODOT TYPE A AGGREGATE BASE
3. BEDDING REQUIRED ONLY FOR ROCK EXCAVATION.
4. COMPACTION REQUIREMENTS:
  - a. NON-PAVED AREAS: 90% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS AND 85% FOR COHESIVE SOILS.
  - b. PAVED AREAS: 95% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS.
5. FILLS OVER 10 FEET DEEP - MATERIAL IN THE AREA FROM SELECT FILL TO BEDDING SHALL BE 3/8" CHIPS OR TYPE A AGGREGATE BASE.
6. FLOWABLE FILL MAY BE SUBSTITUTED FOR ALL MATERIALS IN ROAD CROSSING.
7. PAVED AREA INCLUDES 2' BEHIND CURB.

**WATER PIPE BEDDING DETAIL****CITY OF BROKEN ARROW**STANDARD DRAWING: STD W 01  
LAST REVISION DATE: 8/01/99

DRAWN BY: ZSS

CHECKED BY: TSR

APPROVED: KDS

DATE: 02/01/2024

**VALVE BOX DETAIL****CITY OF BROKEN ARROW** STANDARD DRAWING: STD W 04  
LAST REVISION DATE: 8/01/99

DRAWN BY: ZSS

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APPROVED: KDS

DATE: 02/01/2024

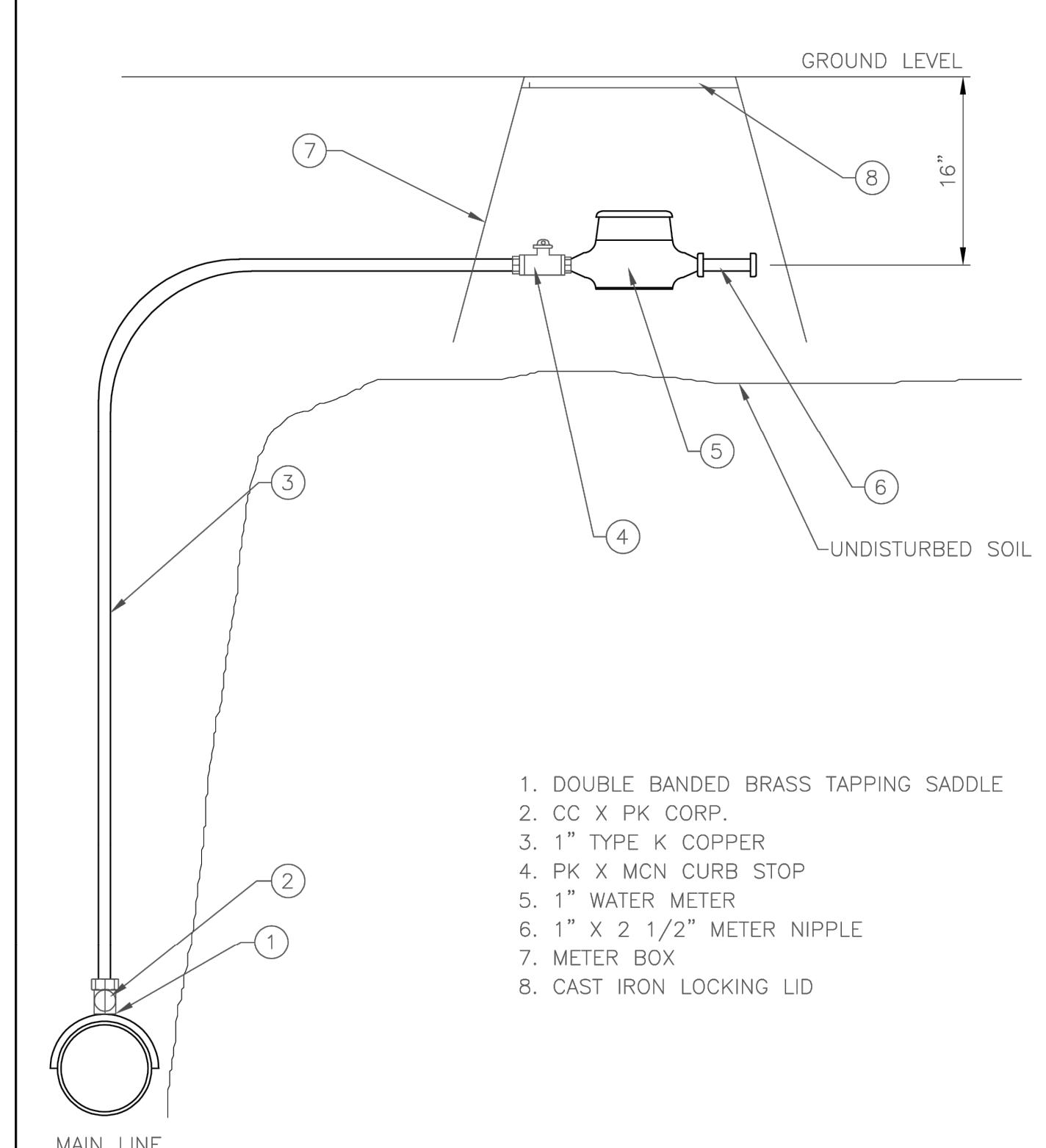
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LAST REVISION DATE: 8/01/99

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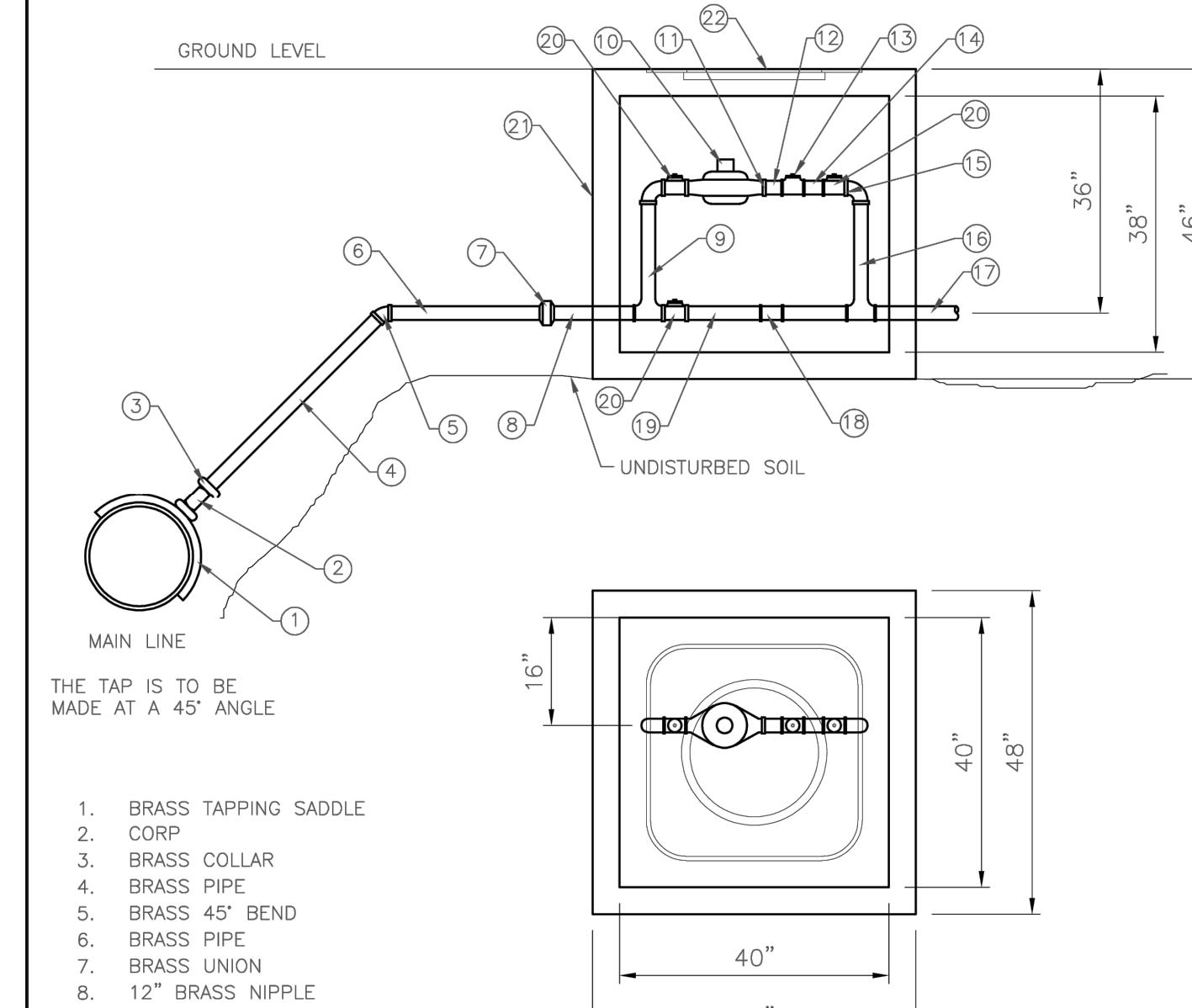
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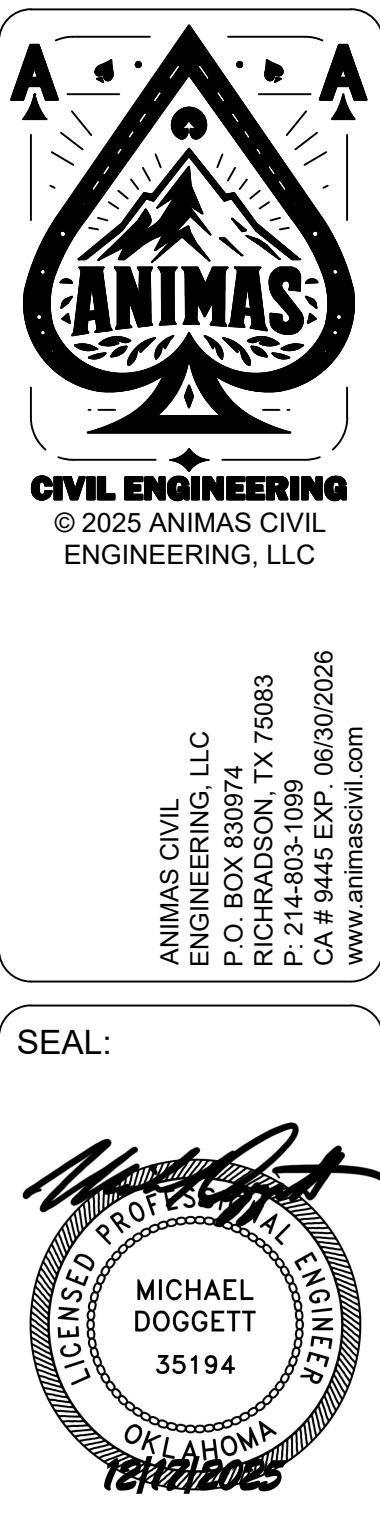
DATE: 02/01/2024

**1" METER SETTING****CITY OF BROKEN ARROW** STANDARD DRAWING: STD W 12  
LAST REVISION DATE: 10/26/21

DRAWN BY: ZSS CHECKED BY: TSR APPROVED: KDS DATE: 02/01/2024

**2" POSITIVE DISPLACEMENT METER SETTING****CITY OF BROKEN ARROW** STANDARD DRAWING: STD W 15  
LAST REVISION DATE: 8/01/99

DRAWN BY: ZSS CHECKED BY: TSR APPROVED: KDS DATE: 02/01/2024



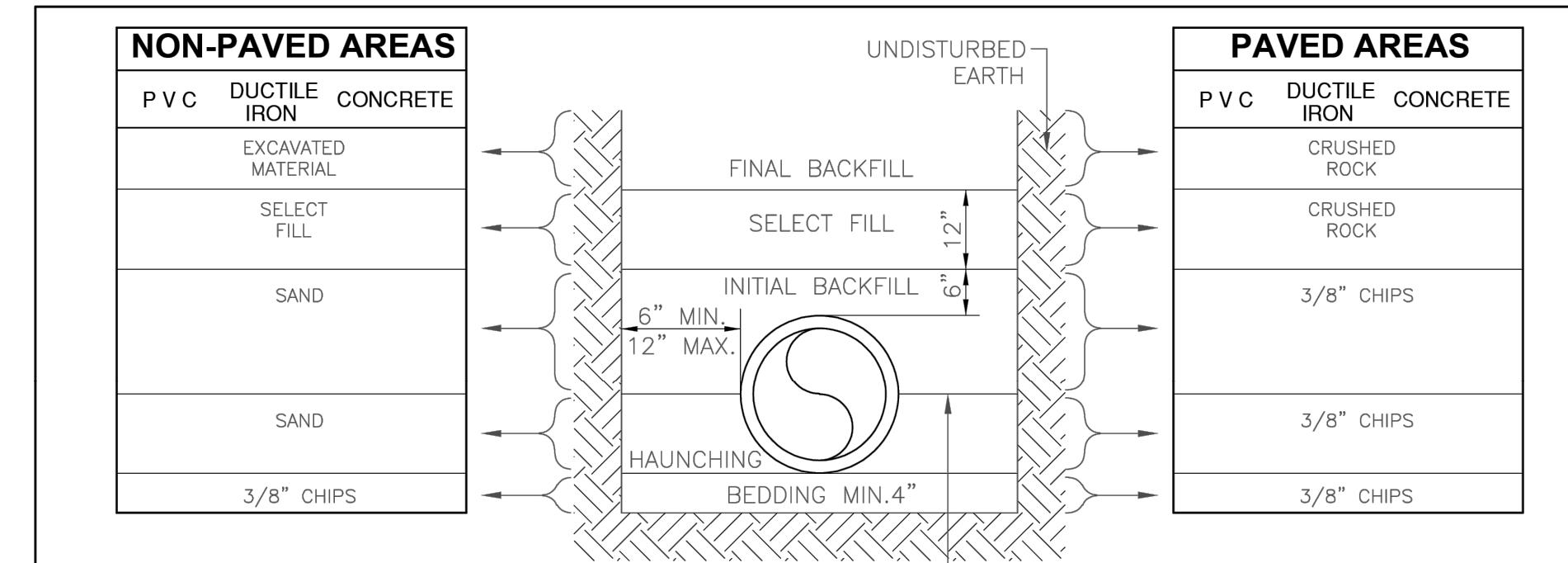
**TINKER FEDERAL CREDIT UNION  
BROKEN ARROW**  
5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

ACE PROJECT: 02001  
REVISIONS  
LABEL: DATE:

SHEET TITLE:  
WATER  
DETAILS

DATE 12/17/25

C-9.06

**NOTES:**

1. SELECT FILL CONSISTS OF EXCAVATED MATERIALS CONTAINING NO ROCKS LARGER THAN 2 INCHES.
2. CRUSHED ROCK SHALL BE ODOT TYPE A AGGREGATE BASE.
3. BEDDING REQUIRED FOR ALL SANITARY SEWER REPLACEMENT PROJECTS IN ROCK EXCAVATION AND FOR LEVELING TRENCH IN NEW INSTALLATION.
4. COMPACTION REQUIREMENTS:
  - a. NON-PAVED AREAS: 90% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS AND 85% FOR COHESIVE SOILS.
  - b. PAVED AREAS: 95% MAXIMUM STANDARD PROCTOR DENSITY FOR COHESIONLESS SOILS.
5. FILLS OVER 10 FEET DEEP - MATERIAL IN THE AREA FROM SELECT FILL TO BEDDING SHALL BE ODOT TYPE A AGGREGATE BASE
6. FLOWABLE FILL MAY BE SUBSTITUTED FOR ALL MATERIALS IN ROAD CROSSING.

**SANITARY SEWER PIPE BEDDING DETAIL**

STANDARD DRAWING: STD SS 01  
LAST REVISION DATE: 2/01/2012

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DATE: 02/01/2024



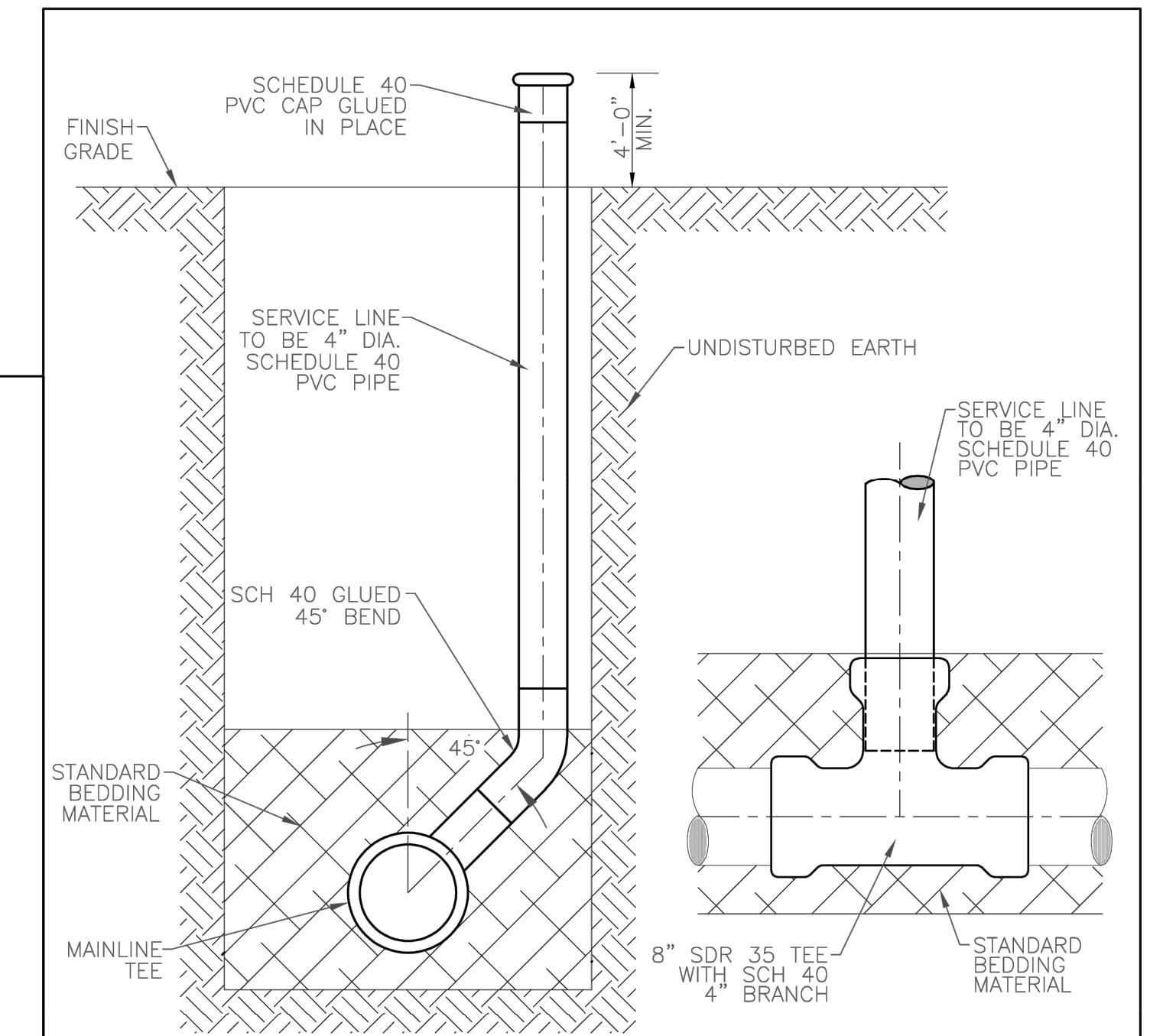
STANDARD DRAWING: STD SS 03A  
LAST REVISION DATE: 8/01/99

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APPROVED: KDS

DATE: 02/01/2024

**SANITARY SEWER TAP DETAIL  
(NARROW TRENCH LESS THAN 15' DEEP)****NOTES:**

1. THE TAP SHALL BE LOCATED AT THE FIRST JOINT AT LEAST FIVE (5) FEET UPSTREAM FROM THE DOWNSTREAM PROPERTY LINE. THE EXACT LOCATION SHALL BE NOTED ON THE AS-BUILT PLANS AS A DISTANCE IN FEET FROM THE NEAREST MANHOLE.
2. FOR WIDE TRENCHES THE LAYOUT ON STANDARD DRAWING SS 04 WILL BE USED.



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SHEET TITLE:  
SANITARY  
SEWER  
DETAILS

DATE 12/17/25

C-9.07



## SECTION 32 9300 - LANDSCAPE

## PART 1 - GENERAL

## 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

## 1.2 REFER TO DOCUMENTS

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

## 1.3 SCOPE OF WORK / DESCRIPTION OF WORK

A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND FINANCIALS NECESSARY TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

## 1. PLANTING (TREES, SHRUBS, GRASSES)

## 2. BED PREP AND FERTILIZATION

## 3. NOTIFICATION OF SOURCES

## 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE

B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS

C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION BY AMERICAN NATIONAL STANDARDS INSTITUTE (2011) - PLANT MATERIAL

B. TEXAS STATE JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES

C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

## 1.5 SUBMITTALS

A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL, AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE

B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA AND THE PLANT MATERIALS

C. SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT SUBMITTED

## 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE

B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOIL, PLANT MATERIALS, GROWING MEDIUM, FERTILIZERS, AND ROCKS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK

C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE

## 1.7 SEQUENCING

A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS/ SOLID SOD

B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER

## 1.8 MAINTENANCE AND GUARANTEE

A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF THE WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER

B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS

C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF LAWNS, MAINTAINING OF SIDEWALKS, DRAINAGE, ETC. AND ALL OTHER WORK NECESSARY FOR MAINTENANCE

D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE

SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE

E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD

F. REMOVE DEAD, UNHEALTHY AND UGLY PLANTS DURING WARRANTY PERIOD

G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR

H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DUST

I. REMOVE TRASH, DEBRIS AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED

J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM

K. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION

L. REAPPLY MULCH TO BARE AND THIN AREAS

M. SHADING SEEDBEDS AND PLANTING AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER

N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR MUST CONSIDER:

a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY NEW PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.

b. ALL HEDGES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE

c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS MUST MEET THE REQUIREMENT OF BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

## GUARANTEE:

A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD. 90 DAYS FROM PLANTING OR AT THE END OF THE PLANTING COLORATION AND GROWTH CYCLE (WHICHEVER IS SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER

B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL

C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS SHALL BE REPAVED AS A RESULT OF REPLACEMENTS SHALL BE IMMEDIATELY REPAVED

D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE USED AS ORIGINALLY SPECIFIED, AND REPLACEMENTS ARE TO BE MADE IN CONFORMITY WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION

E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS

F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY THE LANDSCAPE CONTRACTOR

G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK

## 1.9 QUALITY ASSURANCE

A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK

B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN

C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS

D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS

E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE CONTRACTOR THAT THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT

F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SHOWN ON THE PLANS

G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING PLACEMENT. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

## A. PREPARATION

1. BALED AND BURLAPPED B&amp;B PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS. BRANCHES, SHAPE AND FUTURE DEVELOPMENT

2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS

B. DELIVERY

1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE

2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS APPROPRIATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE

3. PROTECT ROOT BALLS BY HEELING IN WITH DUSTWELL OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF RECEIPT

4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICATION OF LEAVES

5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT

6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT 40°F

7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE

8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS

## PART 2 PRODUCTS

## 2.1 PLANT MATERIALS

A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF ROOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY WRAPPED IN PLASTIC, BURLAP, OR OTHER MATERIALS AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL

B. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS SHALL BE REPAVED AS A RESULT OF REPLACEMENTS SHALL BE IMMEDIATELY REPAVED

C. QUANTITIES, THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AS CALLED FOR ON BOTH. THE BUDGET SCHEDULE IS AN AID TO BIDDERS ON CONSTRUCTION QUOTATIONS

D. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLANT AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL NOT BE PLANTED IN SOILS WHICH ARE SOILLESS, CONTAIN DISEASES, DISFIGURES, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY

E. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNSIZEZED WILL BE REJECTED BY THE LANDSCAPE CONTRACTOR AND REPLACED AS DIRECTED BY THE OWNER, PRIOR TO FINAL ACCEPTANCE

F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY THE LANDSCAPE CONTRACTOR

G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK

H. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF THE WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER

I. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD

J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM

K. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION

L. REAPPLY MULCH TO BARE AND THIN AREAS

M. SHADING SEEDBEDS AND PLANTING AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER

N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR MUST CONSIDER:

a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY NEW PLANT MATERIAL

b. ALL HEDGES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE

c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS MUST MEET THE REQUIREMENT OF BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE USED AS ORIGINALLY SPECIFIED, AND REPLACEMENTS ARE TO BE MADE IN CONFORMITY WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION

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F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY THE LANDSCAPE CONTRACTOR

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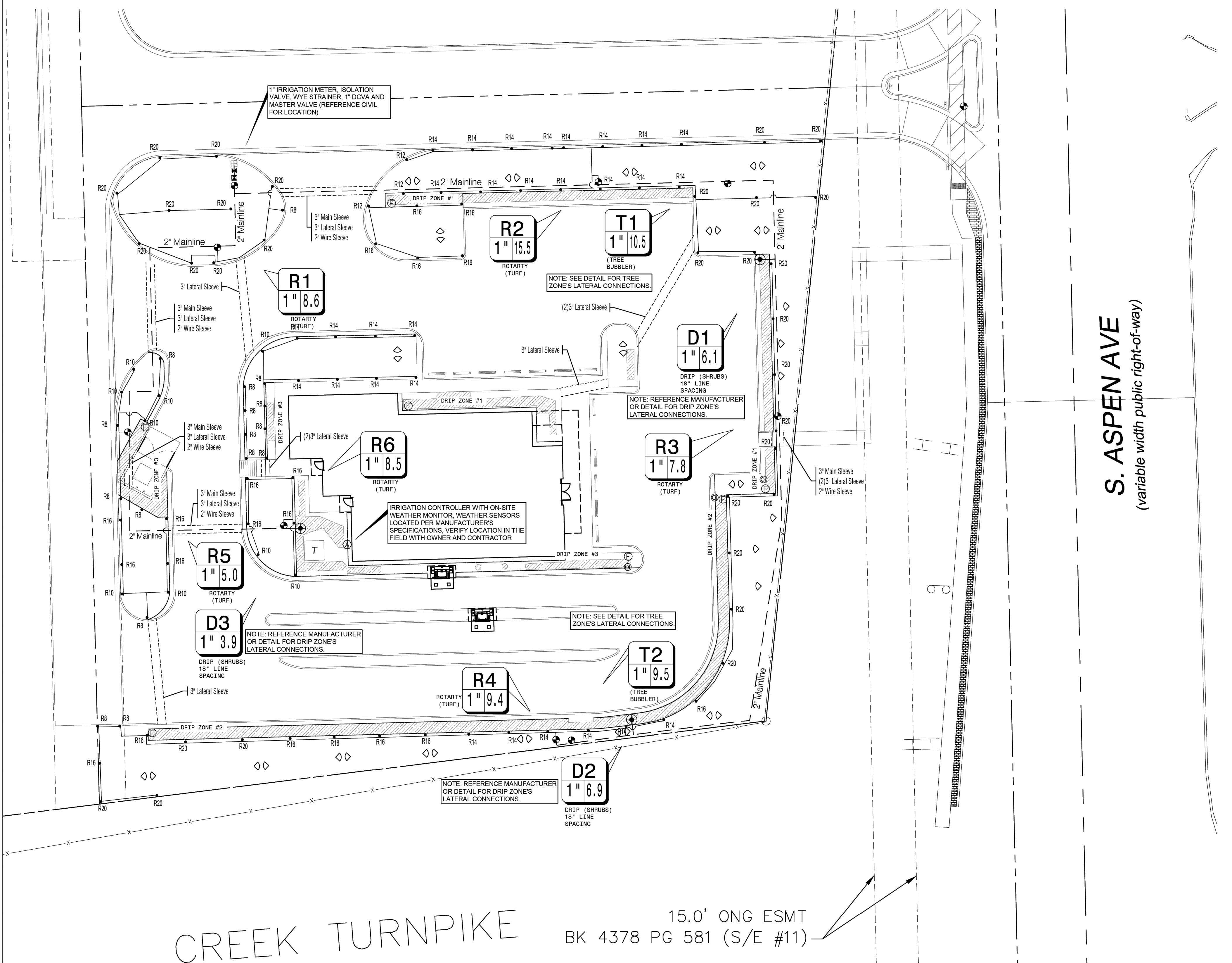
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E. APPROVAL: ALL



# CREEK TURNPIKE

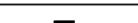
15.0' ONG ESMT  
BK 4378 PG 581 (S/E #11) -



**Know what's below.  
Call before you dig.**

**NOTE TO CONTRACTOR:**

1. PLAN SHEETS DO NOT SHOW EXISTING AND PROPOSED UTILITIES FOR CLARITY ONLY. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO INSTALLATION. CONTRACTOR IS TO USE EXTREME CAUTION IN DIGGING AND TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES.

IRRIGATION LEGEND			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
R20 •	MP ROTATORS	HUNTER	PROS-04-PRS40 (SEE PLAN FOR RADIUS)
◇	MULTI-STREAM BUBBLERS	HUNTER	PROS-06-PRS30 W/ MSBN50H NOZZLES
●	REMOTE CONTROL VALVE	HUNTER	ICV
■	1" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
	HDL DRIPLINE	HUNTER	HDL-06-12-CV
Ⓕ	LINE FLUSHING VALVE	HUNTER	AFV-B
◎	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
●	DRIP CONTROL VALVE	HUNTER	ICZ-101-LF-40

**TE:**  
ENTIRE SYSTEM SHALL BE INSTALLED PER STATE STANDARDS,  
NUFACTORER'S SPECIFICATIONS AND ALL CITY CODES.

THIS DESIGN IS DIAGRAMMATIC, ALL PIPING, VALVES, AND OTHER  
UIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY  
UNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE  
TALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS  
ICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE  
CATIONS OF ALL ABOVE GROUND IRRIGATION EQUIPMENT WITH THE  
NER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR  
IGRATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS  
N COST.

VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF  
NER SHOULD ELECT FOR FULL COVERAGE, CONTRACTOR TO PROCU  
E PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY  
ADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.

IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION AND PLACEMENT  
ALL IRRIGATION ITEMS WITH THE GENERAL CONTRACTOR. CONTRACTOR IS  
USE EXTREME CAUTION IN TRENCHING TO AVOID EXISTING AND  
OPOSED UTILITIES. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO  
IGATION INSTALLATION.

IRRIGATION SPRAY NOZZLES TO BE ADJUSTED TO AVOID PAVEMENT,  
LDING, WALLS, FENCES, UTILITIES, EQUIPMENT, SIGNAGE, AND CALL BOX

REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING  
D ALL PROPOSED PLANT MATERIAL.

IN TURF AREAS (BOTH SOD AND HYDROMULCH AREAS) OUTSIDE OF  
IGATION PERMANENT COVERAGE, CONTRACTOR TO PROVIDE TEMPORARY  
IGATION UNTIL ESTABLISHED, TYP

CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT WATER  
MMER AND SYSTEM COLLAPSE BY DISCHARGING AIR DURING STARTUP AND  
LOWING AIR TO ENTER DURING SHUTDOWN. INSTALL THRUST BLOCKS AND  
/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM.  
R 3 INCH AND LARGER MAINLINE, INSTALL JOINT RESTRAINTS AT TURNS.  
TALL PER MANUFACTURER'S RECOMMENDATIONS.

LL MAINLINE PIPING 3 INCHES AND LARGER SHALL BE BELL AND GASKETED  
ASS 200 PVC PIPE, SDR 21. INSTALL PER MANUFACTURER'S  
COMMENDATIONS, CONTACT MANUFACTURER OR DISTRIBUTOR FOR  
DUCT DEMONSTRATION.

GROUP VALVES IN FIELD AS NECESSARY FOR MAINLINE SIZING. CENTER  
LATERALS WHEN POSSIBLE.

SUGGESTED LATERAL PIPE SIZE, CLASS 200 PVC	
FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4 "
22 - 28 GPM	1-1/2"
28 + GPM	2"

GRAPHIC SCALE

0 20 40 FEET

Scale 1"=20'-0"

## **IN PROJECT NOTES**

1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
2. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
3. INSTALLATION OF SLEEVES SHALL BE TWENTY - FOUR (24") BELOW TOP OF PAVEMENT OR FINISHED GRADE.
4. SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
5. ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
6. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2") INCHES LONG AND ONE (1") APART.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
8. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

## IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL ON SITE REVISIONS NECESSARY.
3. CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL NEW PLANTING MATERIAL.
4. NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
5. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
6. IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE IN GOOD STANDING WITH BOARDS AND REGULATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
9. ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPER GOVERNING AUTHORITIES, CODES AND ORDINANCES.
10. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
11. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
12. ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3') FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.
13. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
14. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER, LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
15. ELECTRICAL SPLICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
16. PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES/SYSTEM.
17. DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
18. PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES (AS BUILT PLANS.)
19. PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.

1. THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FORFEIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PERVIOUS AREAS. ALL PIPE AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY FIVE (65 PSI) POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
4. IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
5. WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
6. TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
7. ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
8. REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS, GROUNDING, SURGE PROTECTORS, DECODERS, VALUES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. [WWW.HUNTERINDUSTRIES.COM](http://WWW.HUNTERINDUSTRIES.COM)
9. MP ROTATOR HEADS SHALL BE PROS-04-PRS40 SPRAY BODIES WITH MP1000, MP2000, MP3000, MP3500, MPRSS530, MPRCS515, AND MPLCS515 NOZZLES. RADIUS LESS THAN 12 FEET SHALL BE PRS30 AND PRS40 SPRAY BODIES WITH MP800SR. MP ROTATOR AREAS WITH LESS THAN 90 DEGREES SHALL BE MP CORNER NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
10. IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICV AS INDICATED. PRIOR TO ALL REMOTE CONTROL VALVES, INSTALL A NOMINALLY SIZED BALL VALVE WITHIN THE SAME BOX.
11. SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVERS LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION. OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
12. QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING  $\frac{3}{4}$ " SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH TWO (2) HQ-3-RC COUPLERS WITH (2) HK-33 KEYS AND TWO (2) HS-0 HOSE SWIVELS AS PART OF THIS CONTRACT.
13. IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
14. DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER ICZ-101-LF-40 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
15. INSTALL DRIP TUBING/LINES PER MANUFACTURER'S RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 050, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TBTEE, PLD-BV. USE ECO-INDICATOR ECO-ID. USE LINE FLUSHING VALVE HUNTER AFV-B.
16. DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURERS RECOMMENDATIONS.
17. TREE BUBBLERS SHALL USE HUNTER PROS-06-PRS30 BODIES WITH HUNTER MULTI-STREAM BUBBLERS MODEL MSBN-50H NOZZLES.
18. ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURER'S GUIDELINES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.

# TINKER FEDERAL CREDIT UNION BROKEN ARROW

608 S. ASPEN AVE. BROKEN ARROW, OK 74011

A W

15.257.1.15  
ALEDO, TEXAS 76008  
P: 512-517-5589  
TBAE REG. NO.: BR-3615  
AMANDA@AWR-DESIGNS.COM

SEAL:

A circular license seal for a landscape architect. The outer ring is black with a white dotted border. The text "STATE OF OKLAHOMA" is at the top, "LICENSED LANDSCAPE ARCHITECT" is at the bottom, and "392" is in the center. The inner circle contains the name "AMANDA WILKINSON RICHARDSON". The entire seal is signed with a large, dark, scribbled signature across the bottom.

## REVISIONS

**SHEET TITLE:**

# IRRIGATION PLAN

DATE 12/17/25

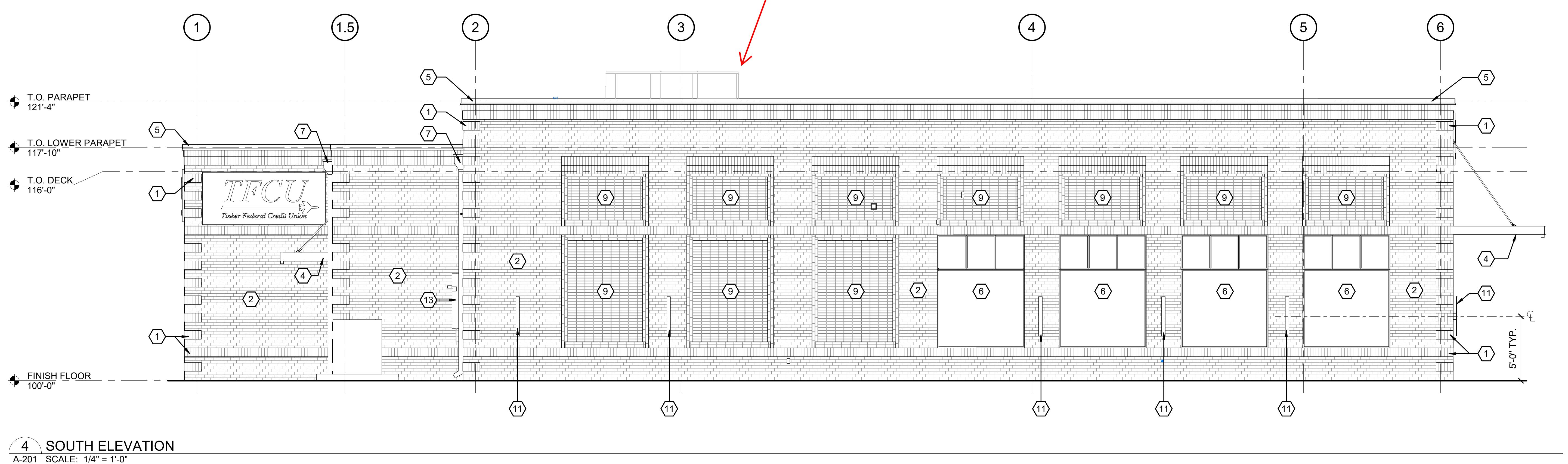
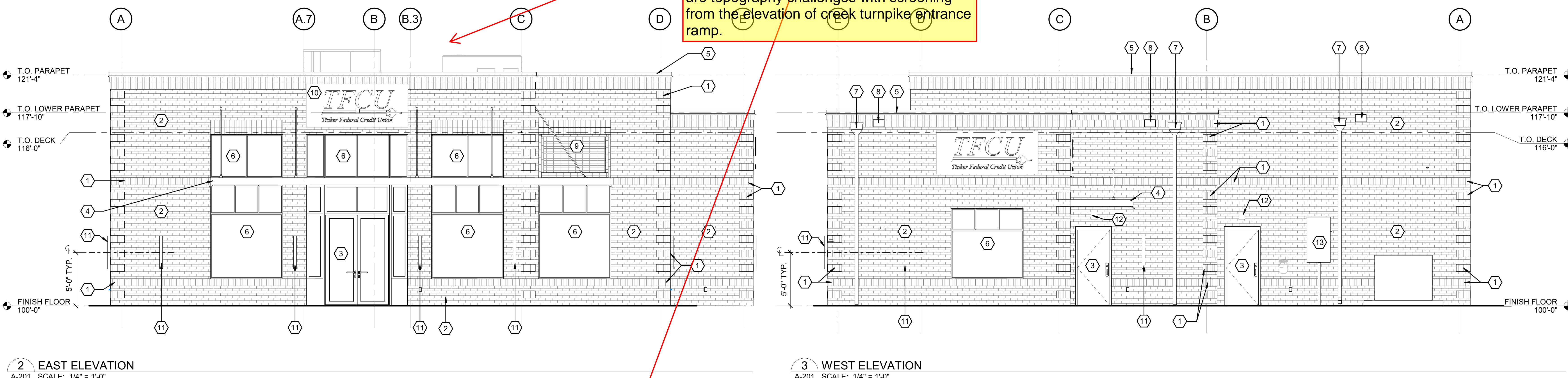
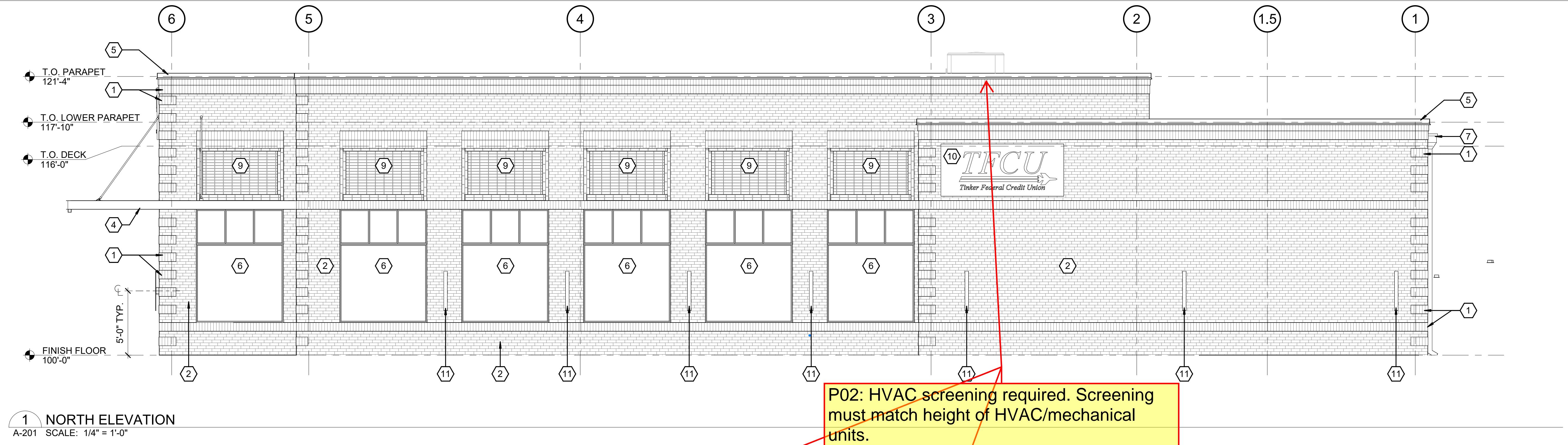
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## TINKER FEDERAL CREDIT UNION BROKEN ARROW

5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

# KEYNOTES	
1	BRICK - SOLDIER COURSE. RE: 1/A-312 FOR COURSING DIMENSIONS.
2	DOOR, RE: A-601
3	PREFABRICATED ALUM CANOPY WITH SOFFIT. RE: ELEC. FOR LIGHT. DO NOT EXPOSE LIGHT FIXTURE CONDUIT OR BREAK FIXTURE SEAL. CANOPY TO BE EXTRA DARK BRONZE COLOR & CANOPY FASCIAS TO BE CUSTOM COLOR PT-3 PER EXTERIOR COLOR LEGEND. RE: A-201.
4	PREFABRICATED METAL PARAPET CAP.
5	ALUM. WINDOW WITH INSULATED GLAZING. RE: A-601
6	SCUPPER (OPENING 12" W X 8" H), COLLECTOR BOX, AND DOWNSPOUT (6" W X 6" D). PROVIDE CONC. SPLASH BLOCK AT GRADE. RE: A-541
7	ROOF DRAIN & THROUGH WALL OVERFLOW ROOF SCUPPER (12" W X 8" H). ROOF TO HAVE A POSITIVE 1/4" I-0" SLOPE TOWARD ROOF DRAINS. RE: A-541
8	BRICK DETAIL. RE: 8/A-551
9	BUILDING SIGNAGE TO BE SUPPLIED AND INSTALLED BY OWNER.
10	EXTERIOR LIGHTING. RE: ELEC.
11	WALL PACK, RE: ELEC.
12	ELECTRICAL PANEL, RE: ELEC.
13	



EXTERIOR COLOR LEGEND	
PAINT	P2 - SHERWIN WILLIAMS SW 6991 BLACK MAGIC - HM DOORS AND FRAMES P3 - SHERWIN WILLIAMS CUSTOM COLOR PANTONE 295C - CANOPY
	P4 - LONOX SELF-CLEANING ACRYLIC COATING - FLAT LX13-50 SERIES - BACK OF DUMPSTER WALL, COLOR BY OWNER
BRICK	BRK1 - MODULAR FULL BRICK - ACME ACME SUMMIT TUMBLED OLD STANFORD
CAST STONE	CST - COLOR BUFF
DOWNSPOUTS	DS - BERRIDGE MATTE BLACK
METAL FLASHING	MCF - BERRIDGE MATTE BLACK
METAL SOFFIT PANEL	MSP - BERRIDGE THIN LINE PANEL MATTE BLACK - ITM
ALUMINUM FRAMES	AF - ARCHITECTURAL METALS - D113-2S CLASS 1 DARK BRONZE

**TINKER FEDERAL CREDIT UNION**

**BROKEN ARROW**

5608 S. ASPEN AVE. BROKEN ARROW, OK 74011

REVISIONS  
LABEL: DATE:

SHEET TITLE  
SIGNAGE  
SCHEDULE &  
TYPES  
DATE: 06/30/25

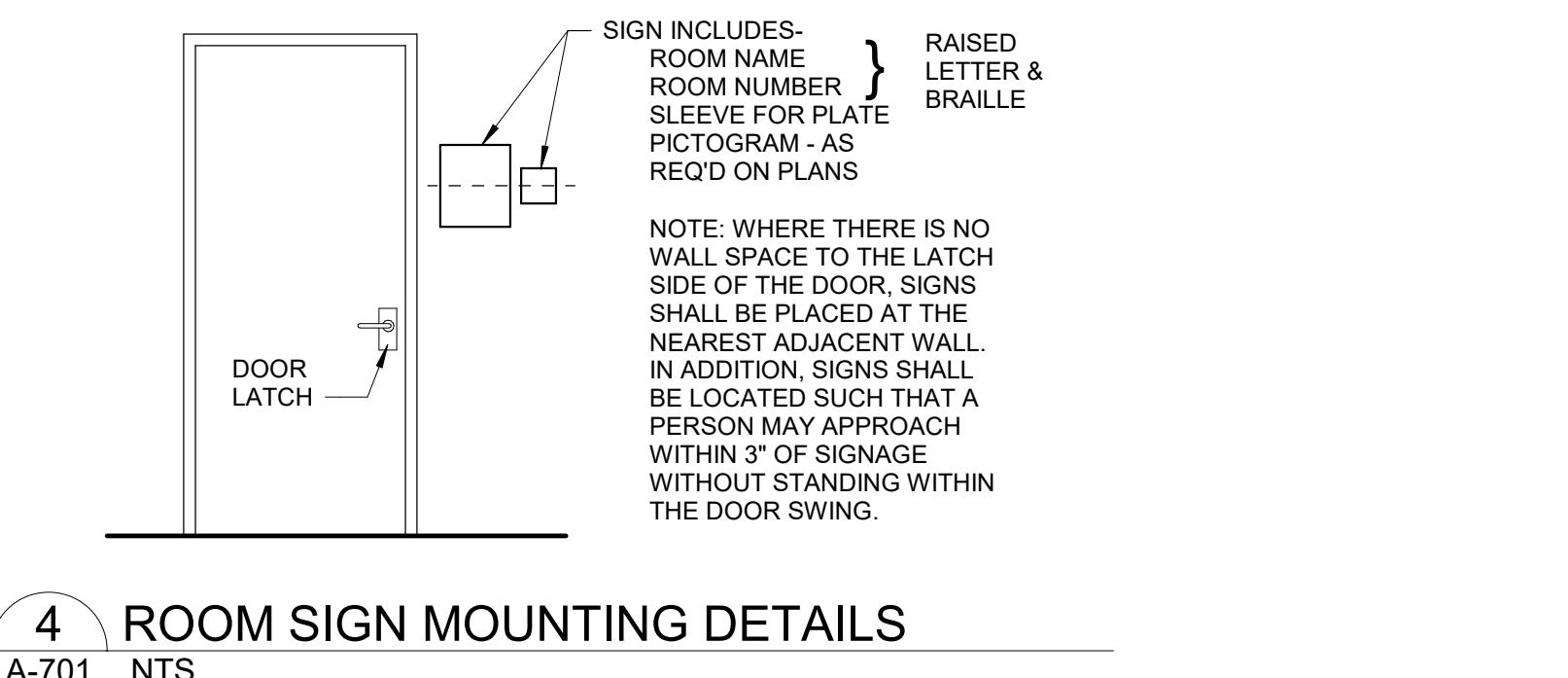
SHEET NUMBER  
A-701

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SIGNAGE LEGEND														
	SIGNAGE TYPE AND LOCATION													
GENERAL NOTES														
<ol style="list-style-type: none"> <li>LETTERS AND NUMERALS SHALL HAVE A WIDTH TO HEIGHT RATIO OF 3:5 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.</li> <li>LETTERS AND NUMERALS SHALL BE RAISED 1/32" AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE.</li> <li>RAISED CHARACTERS SHALL BE 5/8" U.N.O.</li> <li>PICTOGRAMS SHALL BE ACCCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION.</li> <li>THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.</li> </ol>														
SIGNAGE SCHEDULE														
DOOR NO.	CONSTRUCTION ROOM NO.	CONSTRUCTION ROOM NAME	SIGN TYPE	ROOM NO. ON SIGN	ROOM TEXT ON SIGN	QTY	NOTE							
---	---	EXTERIOR	3	-	TFCU LOGO	1	1, 7							
---	---	EXTERIOR	3	-	TFCU LOGO	1	1, 7							
---	---	EXTERIOR	3	-	TFCU LOGO	1	1, 7							
---	---	EXTERIOR	3	-	TFCU LOGO	1	1, 7							
113	112	CORRIDOR	1	-	MEN	1	1, 2, 5							
114	112	CORRIDOR	1	-	WOMEN	1	1, 3, 5							
119	119	MECH.	2	-	RISER	1	1, 6							
121	111	CORRIDOR	1	-	EMPLOYEE RESTROOM	1	1, 4, 5							

NOTES:

- ACTUAL ROOM NUMBERS AND TEXT FOR ALL SIGN TYPES SHALL BE COORDINATED WITH OWNER DURING THE SUBMITTAL PROCESS.
- SIGN TYPE SHOULD INCLUDE MALE, HANDICAP SYMBOL, AND TEXT AS INDICATED.
- SIGN TYPE SHOULD INCLUDE FEMALE, HANDICAP SYMBOL, AND TEXT AS INDICATED.
- SIGN TYPE SHOULD INCLUDE UNISEX (MALE/FEMALE), HANDICAP SYMBOL, AND TEXT AS INDICATED.
- ROOM SIGNAGE INTERIOR SHALL BE CAST ACRYLIC.
- ROOM SIGNAGE EXTERIOR SHALL BE WEATHER RESISTANT PLASTIC. SUBMIT SAMPLES TO ARCHITECT FOR APPROVAL.
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR SIGNAGE LOCATION



4 ROOM SIGN MOUNTING DETAILS

A-701 NTS



3 SIGNAGE PLAN

A-701 SCALE: 1/4" = 1'-0"

SEAL:  
NOT FOR CONSTRUCTION

**TINKER FEDERAL CREDIT UNION - BROKEN ARROW**

LOCATION

38

ELECTRICAL ABBREVIATIONS	
A	DEVICE MOUNTED +8" ABOVE COUNTER TOP (VERIFY LOCATION)
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ATS	AUTOMATIC TRANSFER SWITCH
C	CURRENT
CB	CIRCUIT BREAKER
CT	CURRENT TRANSFORMER
E	EXISTING ITEM TO REMAIN
EC	EXISTING CONDUIT
EM	EMERGENCY LIGHT FIXTURE
ER	NEW LOCATION OF EXISTING ITEM
F	ROUGH IN FOR FUTURE DEVICE
FAP	FEED AND POWER PANEL
FACP	FIRE ALARM CONTROL PANEL
FSD	FIRE SMOKE DAMPER
G	GROUND
GND	GROUND FAULT CIRCUIT INTERRUPTER
KVA	KILO-VOLT-AMPERES
KW	KILOWATTS
MC	MECHANICAL CONTRACTOR
MCB	MICRO CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUGS ONLY
N	NEW DEVICE IN EXISTING LOCATION
	+24" INDICATES MOUNTING HEIGHT CENTER LINE OF DEVICE TO FINISHED FLOOR

GENERAL NOTES - ELECTRICAL

1. COORDINATE LOCATION/INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WITH ALL OTHER TRADES. BEGIN INSTALLATION AND ROUGH-IN ONLY AFTER PROPER AND TIMELY COORDINATION WITH ALL TRADES ASSOCIATED WITH THE INSTALLATION IS COMPLETE. COORDINATE MEETING STRUCTURE, ARCHITECTURAL, MECHANICAL, SHEET METAL, ALL PIPING, CONDUITS, LIGHT FIXTURES, CONDUIT, CABLE, TRAVEL EQUIPMENT, ACCESS/CLEARANCE, ETC. REFER TO ALL GENERAL MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REWORK OF INSTALLED EQUIPMENT RESULTING FROM INSUFFICIENT COORDINATION.
2. ELECTRICAL DRAWINGS ARE ONLY A PORTION OF THE COMPLETE SET OF PLANS AND CONTRACT DOCUMENTS. THE ELECTRICAL SCOPE OF WORK IS DEFINED BY THE COMPLETE SET OF CONTRACT DOCUMENTS. THIS INCLUDES BUT IS NOT LIMITED TO REFERENCING, ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS, EQUIPMENT PLANS FOR ROUGH-IN REQUIREMENTS, MECHANICAL PLANS FOR EQUIPMENT SIZES AND LOCATIONS.

INSTALLATION NOTES - ELECTRICAL

1. INCREASE CONDUCTOR SIZES ON 20A 120V, 1 PHASE CIRCUITS EXCEEDING 100 FEET TO CENTER OF LOAD TO ACCOUNT FOR VOLTAGE DROP.
2. RACEWAYS AND BOXES ARE SHOWN DIAGRAMMATICALLY ONLY AND INDICATE GENERAL AND APPROXIMATE LOCATIONS. LAYOUTS DO NOT ALWAYS SHOW THE TOTAL NUMBER OF RACEWAYS OR BOXES FOR THE CIRCUITS REQUIRED, NOR ARE THE LOCATIONS OF INDICATED RUNS INTENDED TO SHOW THE ACTUAL ROUTING OF THE RACEWAYS.
3. LIGHT FIXTURES, SWITCHES, DEVICES, ETC. ARE SHOWN IN PREFERRED LOCATION. MODIFY CONDUIT, HANGERS, CIRCUITING, ETC. TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
4. PROVIDE A DEDICATED GREEN INSULATED GROUND CONDUCTOR TO ALL DEVICES. DO NOT USE CONDUIT SYSTEM AS THE ONLY EQUIPMENT GROUNDING METHOD.
5. DO NOT INSTALL BOXES BACK-TO-BACK ON OPPOSITE SIDES OF THE SAME WALL. MAINTAIN MINIMUM OF 8' DISTANCE BETWEEN BOXES WHEREVER APPLICABLE.
6. BALANCE PANEL LOADS DURING INSTALLATION. CIRCUIT NUMBERING SHOWN ON PLANS MAY BE ADJUSTED TO ACCOMMODATE.
7. PROVIDE TYPED PANEL DIRECTORY AT PROJECT COMPLETION FOR NEW PANELS AND EXISTING PANELS WITH CIRCUITS MODIFIED DURING PROJECT. USE OWNER'S CURRENT ROOM NUMBERS AND EQUIPMENT NAMES. PROVIDE UNIQUE CIRCUIT IDENTIFICATION PER NEC 408.4(A).
8. CONTRACTOR IS RESPONSIBLE FOR OPENINGS IN WALLS, FLOORS, CEILINGS, AND ROOFS THAT ARE REQUIRED TO COMPLETE THEIR SCOPE OF WORK. SEAL PENETRATIONS IN ACCORDANCE WITH THE RATING OF THE AFFECTED ASSEMBLY. REFER TO ARCHITECTURAL CODE PLAN FOR RATED WALLS, FLOORS, AND CEILINGS.

CODE NOTES - ELECTRICAL

1. PROVIDE ELECTRICAL INSTALLATION IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES.
2. THE CURRENT ADOPTED EDITION OF THE ELECTRICAL CODE IS THE STANDARD FOR THE ELECTRICAL INSTALLATION. VERIFY WITH LOCAL OFFICIALS WHEN PERMITS ARE OBTAINED. NOTICE DEPENDENCIES AND CONSEQUENCES BETWEEN THE PROJECT MANUAL OR DRAWINGS AND THE GOVERNING CODE.
3. INSTALLATION SHALL FOLLOW REQUIREMENTS OF THE ADA -AMERICANS WITH DISABILITIES ACT.
4. REFER TO PROJECT MANUAL AND PROJECT CODE REVIEW SHEET FOR LIST OF APPLICABLE CODES.
5. PER NEC EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO ITS CLEAR, EVIDENT AND SPECIFIC PURPOSE OR USE. CONTRACTOR TO PROVIDE FINAL CIRCUIT IDENTIFICATION FOR ALL NEW AND MODIFIED CIRCUITS AT PROJECT COMPLETION.

DEVICE INSTALLATION AND MATERIALS - ELECTRICAL

1. PROVIDE NORMAL WIRING DEVICES AS WHITE UNLESS OTHERWISE NOTED.
2. PROVIDE DEVICES COVER PLATES AS STAINLESS STEEL. USE 'JUMBO' SIZE AT ALL MASONRY CONDITIONS.
3. PROVIDE GFCI TYPE RECEPTACLES AT ALL LOCATIONS REQUIRED BY THE NEC.
4. INSTALL WALL MOUNTED RECEPTACLES AT +18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
5. INSTALL WALL MOUNTED LIGHT SWITCHES AT +46" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. EXCEPTION: INSTALL DEVICES ABOVE AN OBSTRUCTED HIGH FORWARD REACH OBSTACLE GREATER THAN 20 INCHES IN DEPTH AT +42".
6. INSTALL ABOVE COUNTERTOP RECEPTACLES +4" ABOVE COUNTERTOP BACKSPLASH OR AS OTHERWISE INDICATED.
7. AT A COMMON COUNTERTOP, INSTALL ALL RECEPTACLES AND SWITCHES AT THE SAME HEIGHT UNLESS OTHERWISE SPECIFICALLY INDICATED.

LIGHTING SYMBOLS	
	RECESSED LIGHT FIXTURE, LETTER INDICATES SWITCH LEG (TYPICAL), SHADING INDICATES EMERGENCY LIGHT (TYPICAL)
	ROUND LIGHT FIXTURE - SURFACE MOUNTED
	SQUARE LIGHT FIXTURE - SURFACE MOUNTED
	PENDANT MOUNTED LIGHT FIXTURE
	ROUND APERTURE RECESSED DOWNLIGHT FIXTURE, ARROW INDICATES WALLWASH
	SQUARE APERTURE RECESSED DOWNLIGHT FIXTURE, ARROW INDICATES WALLWASH
	SURFACE MOUNTED STRIP FIXTURE
	LINEAR PENDANT MOUNTED FIXTURE
	INDUSTRIAL STRIP LIGHT FIXTURE
	WALL MOUNTED STRIP LIGHT FIXTURE
	COVE LIGHT FIXTURE
	CONTINUOUS WALL MOUNTED FIXTURE
	TRACK LIGHTING, ELEVATION AS NOTED
	EMERGENCY LIGHT FIXTURE, WALL MOUNT, +96" OR AS NOTED
	EMERGENCY LIGHT FIXTURE, CEILING MOUNT
	EXIT SIGN, WALL MOUNT +96", SHADeD AREAS INDICATE NUMBER OF FACES, ARROWS INDICATE SIGN ARROWS
	COMBINATION EXIT SIGN & EMERGENCY LIGHT, WALL MOUNT +96", SHADeD AREAS INDICATE NUMBER OF FACES, ARROWS INDICATE SIGN ARROWS
	COMBINATION EXIT SIGN & EMERGENCY LIGHT, CEILING MOUNT, SHADeD AREAS INDICATE NUMBER OF FACES, ARROWS INDICATE SIGN ARROWS
	EXTERIOR LIGHT FIXTURE, WALL MOUNT +10", OR AS NOTED
	INTERIOR LIGHT FIXTURE, WALL MOUNT
	EXTERIOR POLE MOUNTED LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
	BOLLARD LIGHT FIXTURE
	EXTERIOR FLOOD LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
	EMERGENCY REMOTE HEAD LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
	CEILING FAN
	SINGLE POLE SWITCH, WALL MOUNT, LETTER INDICATES SWITCH LEG
	THREE WAY SWITCH, WALL MOUNT, LETTER INDICATES SWITCH LEG
	PILOT LIGHT SWITCH, WALL MOUNT, LETTER INDICATES SWITCH LEG
	DIMMER SWITCH, WALL MOUNT, LETTER INDICATES SWITCH LEG
	LIGHTING CONTROLS LOW VOLTAGE SWITCH, WALL MOUNT, LETTER INDICATES SWITCH LEG, REFER TO LIGHTING CONTROLS SCHEDULE
	OCCUPANCY SENSOR, WALL MOUNT, NUMBER INDICATES TYPE, LETTER INDICATES SWITCH LEG, REFER TO LIGHTING CONTROLS SCHEDULE
	DAYLIGHTING SENSOR, CEILING MOUNT, NUMBER INDICATES TYPE, LETTER INDICATES SWITCH LEG, REFER TO LIGHTING CONTROLS SCHEDULE
	LIGHTING CONNECTION, REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE DESCRIPTION
	EMERGENCY TRANSFER DEVICE
	LIGHTING CONTRACTOR
	RELAY
	PHOTOCELL
	ROOM/ZONE CONTROLLER, MOUNT ABOVE ACCESSIBLE CEILING

GENERAL SYMBOLS	
	CONDUIT SLEEVE
	CONDUIT UP, REFER TO TAG ON DRAWING FOR SIZE
	CONDUIT DOWN, REFER TO TAG ON DRAWING FOR SIZE
	JUNCTION BOX, CEILING OR FLOOR MOUNTED
	JUNCTION BOX, WALL MOUNTED, ELEVATION AS NOTED
	CIRCUIT HOMERUN, CONCEALED CONDUIT OR CABLE
	CIRCUIT HOMERUN, UNDER FLOOR CONDUIT OR CABLE
	KITCHEN EQUIPMENT TAG NUMBER, REFER TO KITCHEN EQUIPMENT CONNECTION SCHEDULE
	KEYNOTE
	EQUIPMENT IDENTIFICATION TAG, REFER TO EQUIPMENT CONNECTION SCHEDULE
	DETAIL DRAWING REFERENCE TAG, SIM-SIMILAR, TYP-TYPICAL, OPP-OPOSITIVE SHEET REFERENCE
	SECTION CUT REFERENCE TAG, SIM-SIMILAR, TYP-TYPICAL, OPP-OPOSITIVE SHEET REFERENCE
	INTERIOR ELEVATION DRAWING REFERENCE TAG
	DRAWINGS REVISION, REFER TO TITLEBLOCK FOR REVISION NAME AND DATE

FIRE DETECTION AND ALARM SYMBOLS	
	MANUAL FIRE ALARM PULL STATION
	FIRE ALARM ANNUNCIATOR PANEL
	FIRE ALARM CONTROL PANEL + EMERGENCY COMMUNICATIONS PANEL
	CARBON MONOXIDE DETECTOR
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR
	HEAT DETECTOR
	SMOKE DETECTOR
	SMOKE DETECTOR WITH 520Hz SOUNDER BASE
	DUCT SMOKE DETECTOR
	HORN
	COMBINATION HORN WITH STROBE
	COMBINATION SPEAKER WITH STROBE
	STROBE
	SPEAKER
	FIRE FIGHTER TELEPHONE STATION
	MAGNETIC DOOR HOLD
	SMOKE DAMPER
	COMBINATION FIRE/SMOKE DAMPER
	ADDRESSABLE INPUT MODULE: FS - SPRINKLER WATER FLOW SWITCH, TS - TAMPER SWITCH, PV - POST INDICATOR VALVE
	ADDRESSABLE OUTPUT MODULE: SD - FAN SHUT DOWN RELAY, AM - AUDIO MUTE

POWER SYMBOLS	
	SINGLE RECEPTACLE, WALL MOUNTED
	DUPLEX RECEPTACLE, CEILING MOUNTED
	DUPLEX RECEPTACLE, WALL MOUNTED, TAMPER-RESISTANT
	DUPLEX RECEPTACLE, WALL MOUNTED, SURFACE RACEWAY
	DUPLEX RECEPTACLE, TV POWER, COORDINATE ROUGH-IN WITH AV AND DISPLAY MOUNTING HARDWARE REQUIREMENTS, ELEVATION AS NOTED
	DUPLEX RECEPTACLE, PROTECTED BY EITHER UPSTREAM GFCI DEVICE OR CIRCUIT BREAKER
	DUPLEX RECEPTACLE, MOUNTED WITHIN WATER COOLER HOUSING. VERIFY HEIGHT, CONNECT TO GFCI, CIRCUIT BREAKER OR REMOTE WALL DEVICE. SHADING INDICATES GFCI PROTECTED DEVICE
	DUPLEX GFCI WEATHER RESISTANT RECEPTACLE WITH WEATHER-PROOF IN-USE COVER, TAMPER-RESISTANT, WALL MOUNT
	QUADRUPLEX RECEPTACLE, TAMPER-RESISTANT, WALL MOUNT +18", OR AS NOTED
	QUADRUPLEX GFCI RECEPTACLE, TAMPER-RESISTANT, WALL MOUNT +18", OR AS NOTED. 'G' INDICATES PROTECTION INCLUDED IN DEVICE. SHADING INDICATES DEVICE PROTECTED BY EITHER UPSTREAM GFCI DEVICE OR CIRCUIT BREAKER
	DUPLEX RECEPTACLE IN FLOORBOX, TAMPER-RESISTANT. REFER TO SCHEDULE
	QUADRUPLEX RECEPTACLE IN FLOORBOX, TAMPER-RESISTANT. REFER TO SCHEDULE
	FLOOR BOX, COMBINATION POWER AND DATA ENCLOSURE
	QUANTITY OF CABLES AS NOTED. DEVICES AS NOTED. REFER TO SCHEDULE
	SPECIAL RECEPTACLE, WALL MOUNT. REFER TO EQUIPMENT CONNECTION SCHEDULE FOR RECEPTACLE TYPE. REFER TO PANEL SCHEDULES FOR GFCI PROTECTION WHERE REQUIRED
	SPECIAL RECEPTACLE, CEILING MOUNT. REFER TO EQUIPMENT CONNECTION SCHEDULE FOR RECEPTACLE TYPE. REFER TO PANEL SCHEDULES FOR GFCI PROTECTION WHERE REQUIRED
	EQUIPMENT CONNECTION. REFER TO EQUIPMENT CONNECTION SCHEDULE FOR CONNECTION TYPE. REFER TO PANEL SCHEDULES FOR GFCI PROTECTION WHERE REQUIRED
	MOTOR CONNECTION. REFER TO EQUIPMENT CONNECTION SCHEDULE FOR CONNECTION TYPE. REFER TO PANEL SCHEDULES FOR GFCI PROTECTION WHERE REQUIRED
	EQUIPMENT CONNECTION, WALL MOUNT. REFER TO EQUIPMENT CONNECTION SCHEDULE FOR CONNECTION TYPE. REFER TO PANEL SCHEDULES FOR GFCI PROTECTION WHERE REQUIRED
	SAFETY DISCONNECT SWITCH
	BLANK FACE GFCI DEVICE, WALL MOUNT +48", OR AS NOTED
	MOTORIZED DOOR OPERATOR CONTROL STATION, WALL MOUNT, +48", OR AS NOTED
	DOOR PUSH BUTTON (WEATHERPROOF), +48" OR AS NOTED
	GYM EQUIPMENT CONTROLLER, WALL MOUNT +48", OR AS NOTED
	HAND DRYER, WALL MOUNT, REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT
	GROUND BAR
	UTILITY TRANSFORMER
	UTILITY METER
	SURGE PROTECTIVE DEVICE
	POWER POLE RACEWAY
	VFD
	VFD WITH INTEGRAL DISCONNECT
<img alt="Emergency push button	

NOT FOR CONSTRUCTION  
PRELIMINARY

**TINKER FEDERAL CREDIT UNION  
ARROW**

LOCATION

REVISIONS  
LABEL: DATE:

SHEET TITLE  
ELECTRICAL SITE  
PLAN  
DATE: 7/13/15

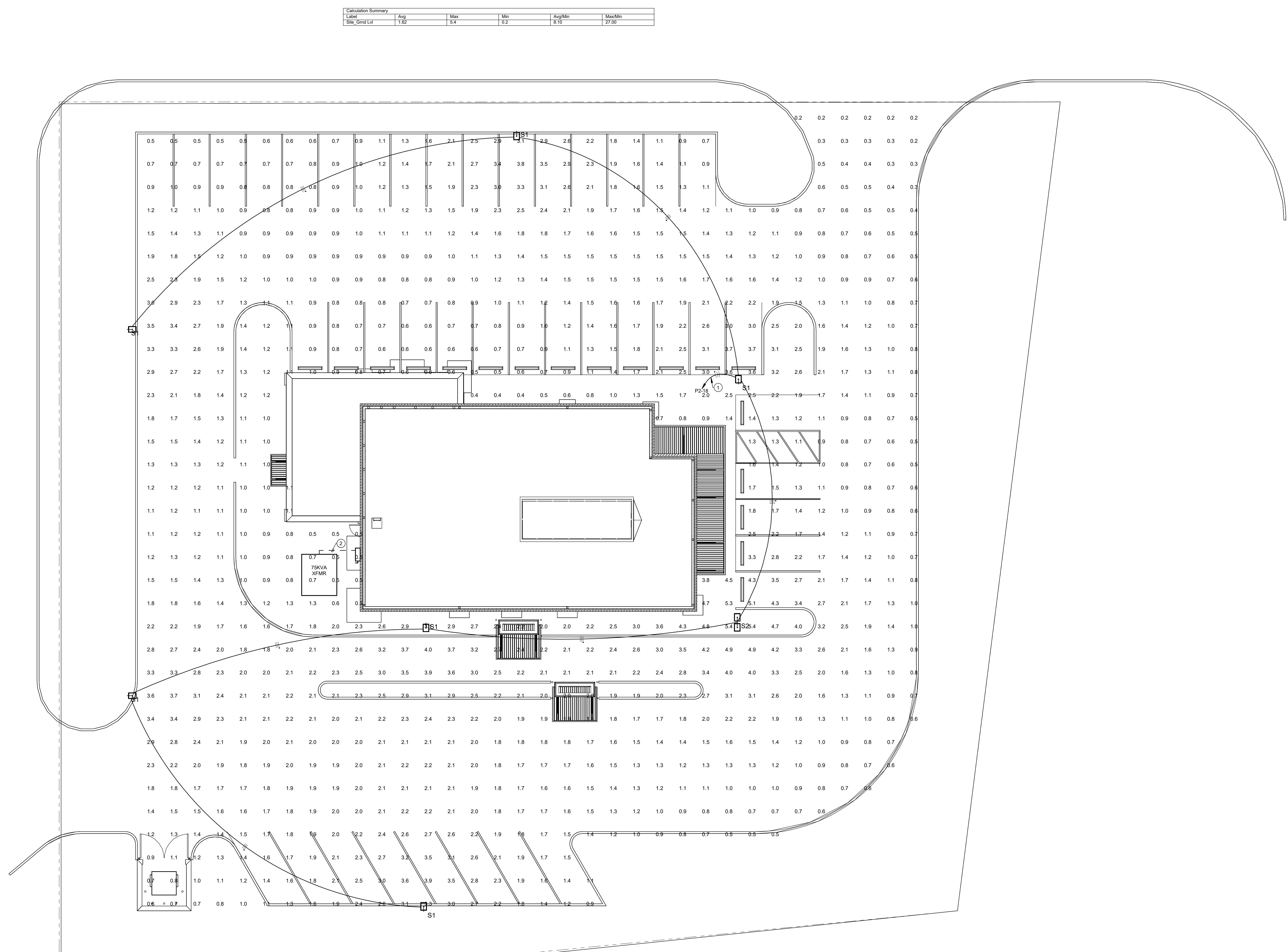
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E001

SITE GENERAL NOTES

- A. UTILITIES SHOWN ON ELECTRICAL SITE PLAN ARE SCHEMATIC ONLY. ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE UNLESS DIMENSIONED. VERIFY ALL SITE CONDITIONS AND DIMENSIONS ON SITE.
- B. PROVIDE TRENCHING, PULL BOXES, BACKFILL, AND PATCHWORK AS REQUIRED TO COMPLETE SITE ELECTRICAL INSTALLATION.
- C. REFER TO ELECTRIC AND LOW VOLTAGE UTILITY ENGINEERED DRAWINGS FOR ADDITIONAL CIRCUITS, BOXES, AND ROUTING REQUIREMENTS. COORDINATE POLES, PADS, PRIMARY CABLE, TRANSFORMERS, METERS, PEDESTALS, ETC.
- D. COORDINATE ROUTING AND CRITICAL CROSSING POINTS OF ELECTRICAL CONDUITS WITH CIVIL AND UTILITY CONTRACTORS. ADJUST CONDUIT DEPTH AS REQUIRED.
- E. REPAIR ALL AFFECTED SURFACES AND RESTORE TO EXISTING CONDITIONS AT COMPLETION OF PROJECT.
- F. PROVIDE ALL SITE CONDUIT AS 1" MINIMUM, ALL CONDUCTORS AS #10 AWG CU. MINIMUM.
- G. WARNING - CALL BEFORE YOU DIG. LAW REQUIRES ANYONE DOING EXCAVATION, FENCING, PLANTING OR DRILLING TO CALL 48 HOURS IN ADVANCE. HAND DIG WITHIN 18 INCHES OF ANY LOCATE MARK OR FLAG. ONE-CALL 811

KEYNOTES

- 1 ROUTE (3) - #6 & (1) - #10 EG, 1".
- 2 ROUTE 2 1/2" CONDUIT. REFER TO ONE-LINE DIAGRAM ON SHEET E400 FOR CONDUCTOR SIZING.

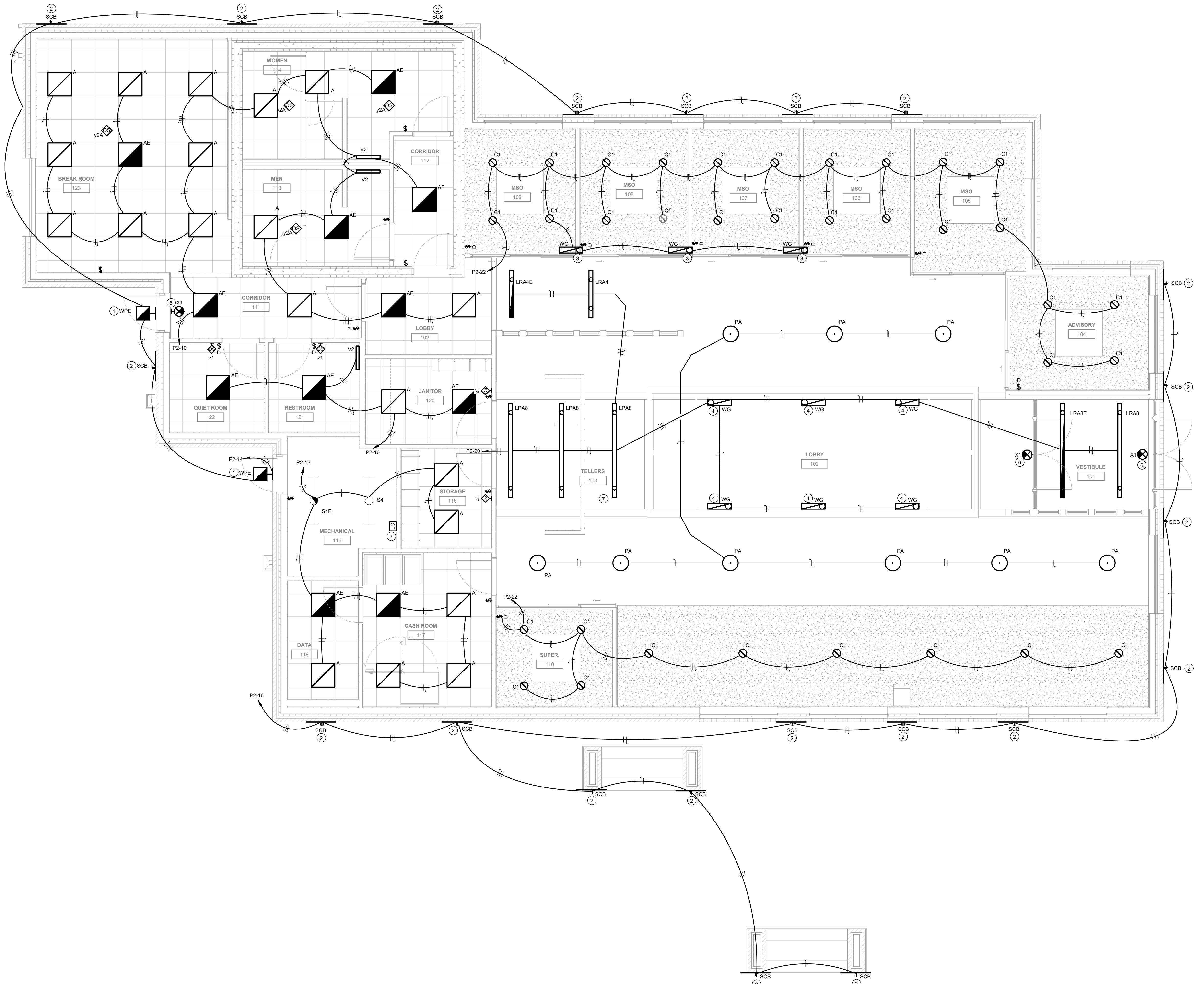


## LIGHTING GENERAL NOTES

- A. COORDINATE LOCATION/INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WITH ALL OTHER TRADES. NO ASPECT OF A SYSTEM INSTALLATION OR ITS ROUGH-IN SHALL COMMENCE UNTIL PROPER AND TIMELY COORDINATION WITH ALL TRADES ASSOCIATED WITH THE INSTALLATION HAS TRANSPRIRED. ITEMS TO BE COORDINATED SHALL INCLUDE BUT NOT BE LIMITED TO: BUILDING STRUCTURE, SHEET METAL, ALL PIPING SYSTEMS, LIGHT FIXTURES, CONDUITS, CABLE TRAYS, ETC. REFER TO ALL GENERAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT
- B. UNLESS NOTED OTHERWISE, CONNECT ALL EMERGENCY BATTERY FIXTURES WITH AN UN-SWITCHED LEG OF THE LIGHTING CIRCUIT THAT SERVES THE FIXTURES SPACE. MAINTAIN NORMAL SWITCHING SCHEME OF EMERGENCY FIXTURES UNDER NORMAL OPERATION.
- C. LIGHTING CONTROLS SENSORS SHOWN ON PLANS AT SUGGESTED LOCATIONS. VERIFY FINAL LOCATIONS AND QUANTITIES WITH MANUFACTURER GUIDELINES AND INSTALLATION RECOMMENDATIONS. COORDINATE RELOCATIONS WITH ARCHITECTS CEILING PLAN.
- D. ALL LIGHTING CONTROL TO BE PROVIDED VIA LUTRON VIVE CONTROL SYSTEM, UNLESS OTHERWISE INDICATED. ALL WALLSTATIONS SHALL BE LUTRON PICO TYPE. COORDINATE EXACT REQUIREMENTS WITH FINAL LIGHTING CONTROL SUBMITTALS PRIOR TO ROUGH-IN.
- E. CONTRACTOR SHALL POWER LIGHT FIXTURES TYPE X1 TO THE NEAREST EMERGENCY LIGHTING NON RELAY CIRCUIT.

## KEYNOTES

- 1 MOUNT TYPE WPE LIGHT FIXTURE 8' 0" AT BOTTOM OF FIXTURE AFG.
- 2 MOUNT TYPE SCB LIGHT FIXTURE 3' 5" AT BOTTOM OF FIXTURE AFG.
- 3 MOUNT TYPE WG LIGHT FIXTURE TO BACKSIDE OF BULKHEAD MINIMUM 13' 0" AT BOTTOM OF FIXTURE AFF.
- 4 MOUNT TYPE WG LIGHT FIXTURE MINIMUM 15' 0" AT BOTTOM OF FIXTURE AFF.
- 5 MOUNT TYPE X1 EMERGENCY LIGHT FIXTURE 8' 0" AFF.
- 6 SUSPEND TYPE X1 EMERGENCY LIGHT FIXTURE MINIMUM 10' 0" AFF.
- 7 ALL EXTERIOR LIGHTING SHALL BE CIRCUITED THROUGH A LIGHTING CONTACTOR CONNECTED TO AND CONTROLLED BY THE EXTERIOR LIGHTING CONTROL SYSTEM. EXTERIOR FIXTURES SHALL ILLUMINATE AT DUSK OR OTHERLOW-LIGHT CONDITIONS AND SHALL BE SHUT-OFF BY A FUNCTION OF DIGITAL TIMER SYSTEM. PROVIDE AND INSTALL INTERMATIC #ETC28254PCR (OR APPROVED EQUAL) DIGITAL CONTROL BOX ADJACENT TO PANEL 'P2' FOR EXTERIOR LIGHTING CIRCUITS. PROVIDE MANUAL OVERRIDE SWITCH FOR MANUAL CONTROL. LABEL OVERRIDE SWITCHES WITH "MANUAL LIGHTING OVERRIDE" AND DESCRIPTION OF LIGHTING FIXTURES CONTROLLED BY SWITCH.



# 1 REFLECTED CEILING PLAN

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**KEYNOTES** #  
1 PROVIDE AND INSTALL J-BOX FOR BUILDING MOUNTED  
SIGNAGE. CIRCUIT TO NEAREST LIGHTING CIRCUIT. CIRCUIT  
SIGNAGE THROUGH DEDICATED CONTACTOR FOR CONTROL  
SEPARATE FROM OTHER EXTERIOR LIGHTING.

**E. LIGHTING FIXTURE SCHEDULE**

**NOTES:**  
1. ALL FIXTURES SHALL BE U.L. OR SIMILARLY LISTED.  
2. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT MOUNTING LOCATIONS, DETAILS, AND CONFIGURATIONS OF ALL LUMINAIRES. IF ARCHITECTURAL DRAWINGS DO NOT CLARIFY EXACT MOUNTING LOCATION OR DETAIL, ISSUE AN RFI FOR ARCHITECT TO SPECIFICALLY CLARIFY PRIOR TO FIXTURE ROUGH-IN.  
3. VERIFY COMPATIBILITY OF LIGHT FIXTURES WITH CEILING MATERIAL, ADJACENT CONSTRUCTION, AND ADJACENT FINISHES PRIOR TO SHOP DRAWINGS SUBMITTAL.  
4. CONTRACTOR IS RESPONSIBLE FOR ALL MISCELLANEOUS HARDWARE NECESSARY TO INSTALL AND SUPPORT THE LUMINAIRES.  
5. AIM AND TARGET ADJUSTABLE INTERIOR AND EXTERIOR LIGHT FIXTURES UNDER THE OBSERVATION AND IN COMPLIANCE WITH RECOMMENDATIONS OF THE ARCHITECT.  
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FILLING OUT ALL UTILITY REBATE FORMS FOR OWNER.

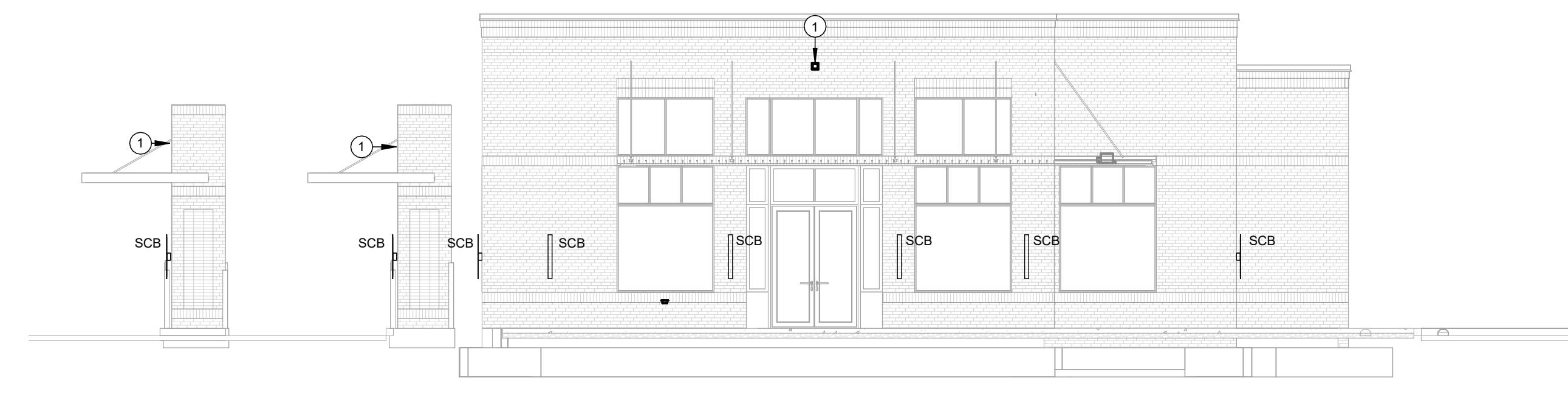
TYPE	MANUFACTURER	MODEL	DESCRIPTION	LUMENS	CRI	LAMP TYPE	CCT	VOLTAGE	LOAD-VA	APPROVED EQUALS
A	LITHONIA	CPXTW 2X4 TUWH PROR 5000LM 80CRI SWL MVOLT	2' X 4' LED FLAT PANEL	5377 LM	80	LED	4000K	120 V	30 VA	AS APPROVED BY ENGINEER
AE	LITHONIA	CPXTW 2X4 TUWH PROR 5000LM 80CRI SWL MVOLT E10W	2' X 4' LED FLAT PANEL, 90-MINUTE BATTERY.	5377 LM	80	LED	4000K	120 V	30 VA	AS APPROVED BY ENGINEER
C1	LITHONIA	LDNB AL04 40K L08 AR LSS MVOLT UGZ	8" RECESSED ROUND LED DOWNLIGHT	4152 LM	80	LED	4000K	120 V	39 VA	AS APPROVED BY ENGINEER
LPAB	H.E. WILLIAMS	75L 8 140/840 DMA DIM UNV	8' LONG SUSPENDED FLAT LENS	4014 LM	80	LED	4000K	120 V	34 VA	AS APPROVED BY ENGINEER
LRA4E	H.E. WILLIAMS	75L 4 138/840 DMA DIM UNV	4' LONG SUSPENDED FLAT LENS	3936 LM	80	LED	4000K	120 V	31 VA	AS APPROVED BY ENGINEER
LRA8E	H.E. WILLIAMS	75L 8 140/840 DMA DIM UNV	4' LONG SUSPENDED FLAT LENS, 90-MINUTE BATTERY	3936 LM	80	LED	4000K	120 V	31 VA	AS APPROVED BY ENGINEER
PA	DELRAY	75L 8 140/840 DMA DIM EM/10WLP UNV	8' LONG SUSPENDED FLAT LENS	4014 LM	80	LED	4000K	120 V	34 VA	AS APPROVED BY ENGINEER
S1	LITHONIA	RSX1 LED P2 40K R4 MVOLT SPA NLTAIR2 PIRHN DBBXD / (1) SSS 20 4C DM19AS DBBXD	POLE LIGHT, SQUARE POLE, 4" X 30" SQUARE STEEL POLE LIGHT, RECESSED, 0-10% DIMMING	9972 LM	70	LED	4000K	120 V	72 VA	AS APPROVED BY ENGINEER
S2	LITHONIA	RSX1 LED P2 40K R4 MVOLT SPA NLTAIR2 PIRHN DBBXD / (1) SSS 20 4C DM28AS DBBXD	POLE LIGHT, SQUARE POLE, 4" X 20" SQUARE STEEL POLE DOUBLE POLE MOUNT LIGHT FIXTURES	19944 LM	70	LED	4000K	120 V	144 VA	AS APPROVED BY ENGINEER
S4	LITHONIA	CLX L48 4000LM HEF FDL WD MVOLT GZ10 40K 80CRI	4' LED STRIP	4312 LM	80	LED	4000K	120 V	24 VA	AS APPROVED BY ENGINEER
S4E	LITHONIA	CLX L48 4000LM HEF FDL WD MVOLT GZ10 40K 80CRI E10W	4' LED STRIP, 90-MINUTE BATTERY, MINI VALIST PLATE, ALUMINUM STRUCTURE, INDIRECT LIGHTING, 0-10% DIMMING	4312 LM	80	LED	4000K	120 V	24 VA	AS APPROVED BY ENGINEER
SCB	EUREKA	3149 LED 40 120V DV CRR WHE	MINI VALIST PLATE, ALUMINUM STRUCTURE, INDIRECT LIGHTING, 0-10% DIMMING	1171 LM	80	LED	4000K	120 V	12 VA	AS APPROVED BY ENGINEER
V2	AXIS	PS-AR-R-AS-LF-400-80-2-C-UNV-DP-1-MT-RWJ	LED VANTY FIXTURE, 400LM/FT, 3.792 W/FT	400 LM	90	LED	4000K	120 V	4 VA	AS APPROVED BY ENGINEER
WG	OCL	DA1-SISC-27-MW-SWP-LED2-40K-UNV-DM1-SCY	LED CEILING GRAZE	1680 LM	90	LED	4000K	120 V	20 VA	AS APPROVED BY ENGINEER
WPE	LITHONIA	WDGE2 LED P1 40K 80CRI MVOLT SRM	SURFACE MOUNTED FIXTURE, WET LOCATION RATED, 90-MINUTE BATTERY	1238 LM	80	LED	4000K	120 V	11 VA	AS APPROVED BY ENGINEER
X1	LITHONIA	EDG/EDG R 1 EL	EDGE-LIT EXIT SIGN, UNIVERSAL MOUNTING, BACK-UP BATTERY			RED LED		120 V	4 VA	AS APPROVED BY ENGINEER

**LIGHTING CONTROLS SCHEDULE**

**NOTES:**  
1. PROVIDE LIGHTING CONTROLS AS A COMPLETE SYSTEM AND INCLUDE MATERIAL AND INSTALLATION FOR ALL POWER PACKS, ACCESSORIES, CONTROLLERS, AND WIRING REQUIRED FOR OPERATION.  
2. ALL DEVICES SHALL BE U.L. OR SIMILARLY LISTED.  
3. ALL DEVICES PROVIDED WITH MANUFACTURER LIMITED 5 YEAR WARRANTY.  
4. PROVIDE LIGHTING CONTROLS WITH MANUFACTURER COMPLIANT POWER PACKS AND LOW VOLTAGE ROOM CONTROLLERS IN QUANTITY REQUIRED TO INSTALL A COMPLETE AND OPERATIONAL SYSTEM. MANUFACTURER OR MANUFACTURER'S REP TO PROVIDE DEVICE QUANTITIES, LAYOUTS AND TYPICAL WIRING DETAILS DURING SHOP SUBMITTAL PROCESS. PROVIDE DIMMING COMPATIBLE DEVICES WHERE DIMMING CONTROLS ARE SHOWN. COORDINATE DIMMING TYPE WITH LIGHTING FIXTURES SHOWN. REFER TO LUMINAIRE SCHEDULE FOR FIXTURE DIMMING TYPE.  
5. WHERE WIRELESS LIGHTING CONTROLS ARE PROVIDED, POWERPACKS SHALL BE PROVIDED AND INSTALLED WITHIN MANUFACTURER RECOMMENDED DISTANCES TO ENSURE CONTROLLER OPERATION.  
6. INSTALL POWERPACKS IN POWERFUL CONTROLLERS ABOVE NEARBY ACCESSIBLE CEILING TILES OR IN MECHANICAL/STORAGE SPACES ADJACENT TO CONTROLLED FIXTURES. DO NOT INSTALL POWERPACKS EXPOSED IN COMMON SPACES OR IN INACCESSIBLE LOCATIONS.  
7. PROVIDE FACTORY AUTHORIZED REPRESENTATIVE TO DEMONSTRATE TYPICAL INSTALLATION AND COMMISSIONING OF EQUIPMENT.  
8. WHERE APPROVED EQUAL MANUFACTURER PRODUCTS SENSOR COVERAGE OR LOAD RATINGS DIFFER FROM BASIS OF DESIGN, CONTRACTOR AND MANUFACTURER ARE RESPONSIBLE FOR PROVIDING ADDITIONAL DEVICES AS NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM.  
9. ETD'S AND ALL EMERGENCY LIGHTING CONTROLS COMPONENTS SHALL BE TESTED AND LISTED AS COMPATIBLE BY MANUFACTURER WITH NORMAL LIGHTING CONTROLS IN ALL AREAS.  
10. UNLESS INDICATED OTHERWISE, LIGHTING CONTROL SCHEMES/OPERATION SHALL BE AS FOLLOWS:

CORRIDORS, VESTIBULES, COMMON SPACES:	SENSORS PROGRAMMED FOR OCCUPANCY MODE, AUTOMATIC ON/OFF OPERATION, 20 MINUTES MINIMUM, 30 MINUTES MAXIMUM, DIMMING CONTROL OF FIXTURES WITHIN DAYLIGHT ZONES SHALL BE BY ALWAYS ON DAYLIGHT SENSOR.
ALL OTHER SPACES	SENSORS PROGRAMMED FOR VACANCY MODE, MANUAL ON/AUTOMATIC OFF OPERATION 20 MINUTES MINIMUM, 30 MINUTES MAXIMUM, DIMMING CONTROL OF FIXTURES WITHIN DAYLIGHT ZONES SHALL BE BY ALWAYS ON DAYLIGHT SENSOR.

TYPE	DESCRIPTION	ELECTRICAL	MOUNTING	SENSOR TYPE	COVERAGE	APPROVED MANUFACTURERS
OS y2A	CEILING MOUNTED OCCUPANCY/VACANCY SENSOR, WHITE FINISH, AUTOMATIC SELF-ADAPTIVE COVERAGE THRESHOLD AND FALSE ON/FAKE OFF CORRECTION, 8-30 MINUTE TIMER SETTINGS, INDOOR USE.	LOW VOLTAGE	CEILING / 8'-12' MH	DUAL-TECH	1000 SQ FT / 360 DEG	HUBBELL, CRESTRON, ACUTY, WATTSTOPPER, GREENGATE, AS APPROVED BY ENGINEER.
OS z1	WALL SWITCH OCCUPANCY SENSOR, DEVICE FINISH MATCHING WIRING DEVICES SPEC. RATED FOR MIN 1/6 HP MOTOR, INTEGRAL AUTOMATIC SELF-ADAPTIVE COVERAGE THRESHOLD AND FALSE ON/FAKE OFF CORRECTION, 8-30 MINUTE TIMER SETTINGS.	120V	WALL SWITCH / SINGLE GANG	DUAL-TECH	1000 SQ FT / 180 DEG	HUBBELL, CRESTRON, ACUTY, WATTSTOPPER, GREENGATE, AS APPROVED BY ENGINEER.



**1 EXTERIOR ELEVATION - EAST**

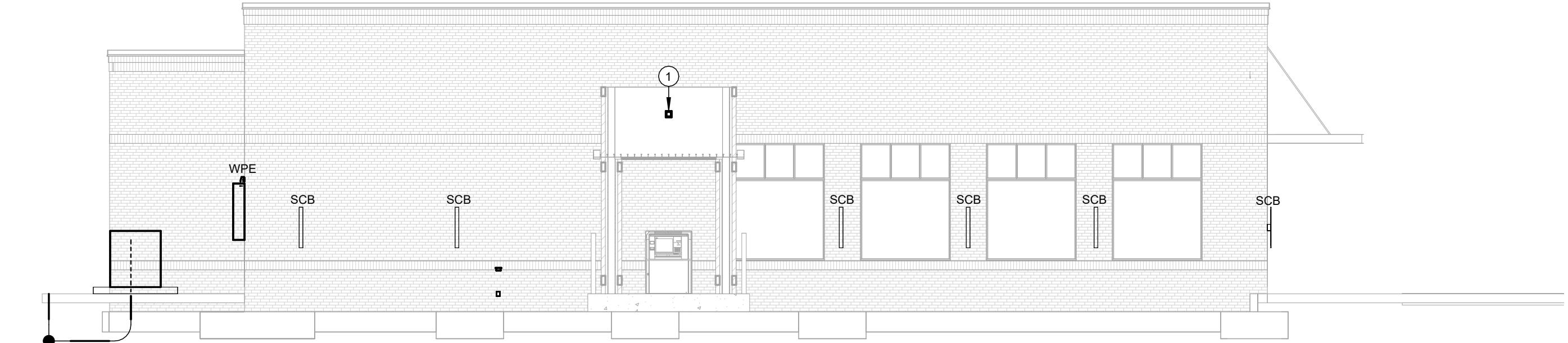
1/8" = 1'-0"

P03: Thank you for additional information. The shielding for the light fixture has to be less than 90 degrees. The following is the code:  
Shielding. Light sources shall be concealed or shielded with luminaries with cut-offs with an angle not exceeding 90 degrees to minimize the potential for glare and unnecessary diffusion on adjacent property. For purposes of this standard, "cutoff angle" is defined as the angle formed by a line drawn from the direction of light rays at the light source and a line perpendicular to the ground from the light source above from which no light is emitted.  
See Sec 4.4.3 of updated Broken Arrow zoning ordinance.



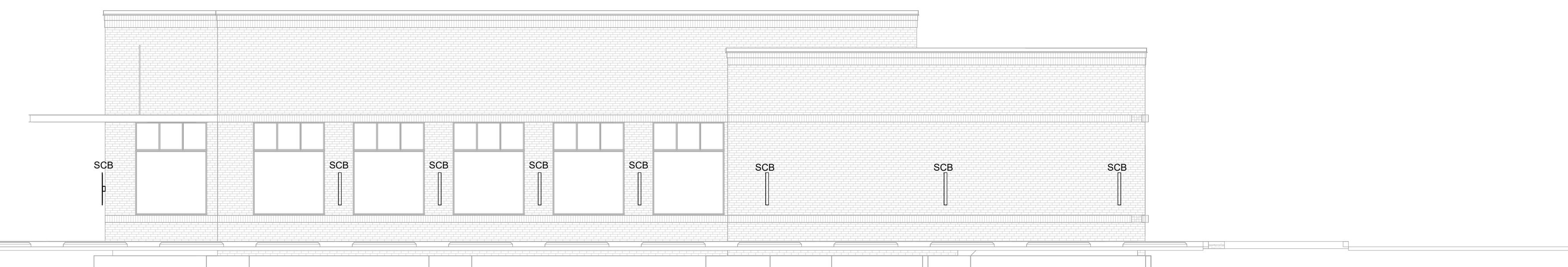
**2 EXTERIOR ELEVATION - WEST**

1/8" = 1'-0"



**3 EXTERIOR ELEVATION - SOUTH**

1/8" = 1'-0"



**4 EXTERIOR ELEVATION - NORTH**

1/8" = 1'-0"

SEAL:  
NOT FOR CONSTRUCTION

**TINKER FEDERAL CREDIT UNION  
ARROW**

LOCATION

REVISIONS  
LABEL: DATE:

SHEET TITLE

ELECTRICAL  
POWER PLAN  
DATE: 09/26/17

SHEET NUMBER

E301

POWER GENERAL NOTES

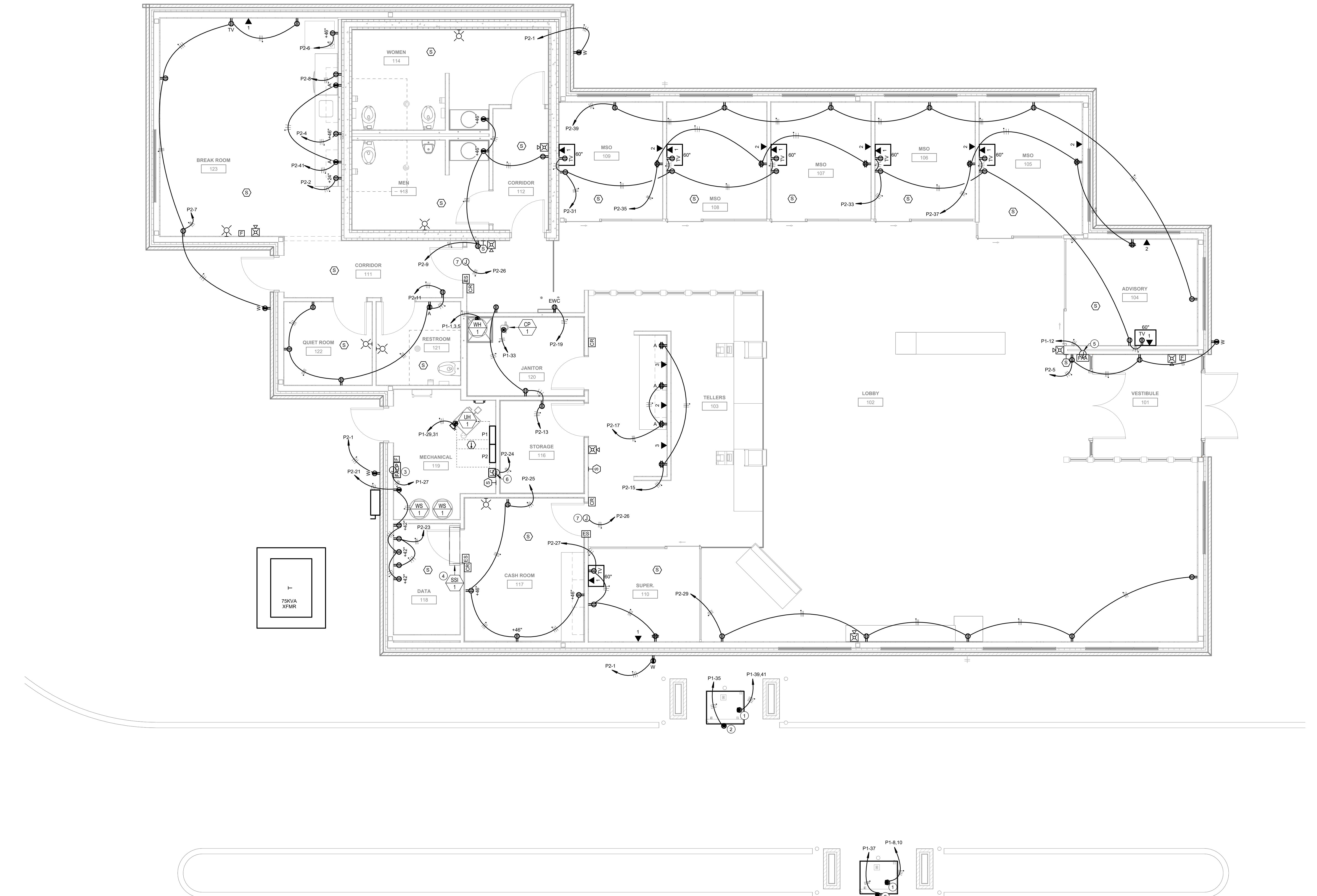
A. COORDINATE LOCATION/INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WITH ALL OTHER TRADES. NO ASPECT OF A SYSTEM INSTALLATION OR CONNECTION SHALL BE CONSIDERED FINAL UNTIL COORDINATION WITH ALL TRADES ASSOCIATED WITH THE INSTALLATION HAS TRANSPRIED. ITEMS TO BE COORDINATED SHALL INCLUDE BUT NOT BE LIMITED TO: BUILDING STRUCTURE, SHEET METAL, PIPING SYSTEMS, LIGHT FIXTURES, CONDUITS, CABLE TRAYS, ETC. REFER TO ALL GENERAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.

B. COORDINATE ELECTRICAL REQUIREMENTS FOR MECHANICAL UNITS WITH MECHANICAL CONTRACTOR AND FINAL MECHANICAL SHOP DRAWINGS.

C. PROVIDE PENETRATIONS REQUIRED FOR ROUTING RACEWAYS THROUGH THE BUILDING. COORDINATE FIRE RATED WALL PENETRATIONS AND PROVIDE CONDUIT SLEEVES AND FIRE STOPPING TO MAINTAIN RATING.

KEYNOTES

1. CONTRACTOR SHALL PROVIDE 208V POWER TO ATM.  
2. CONTRACTOR SHALL PROVIDE 120V POWER FOR ATM  
DURABLE MOTOR.  
3. CONTRACTOR SHALL PROVIDE 120V POWER FOR FIRE  
ALARM CONTROL PANEL.  
4. CONTRACTOR SHALL COORDINATE WITH INSTALLER TO  
SUPPLY POWER TO SSU-1 FROM THE APPLICABLE SSO-1 ON  
ROOF. PROVIDE LOCALIZED MEANS OF DISCONNECT AT  
INDOOR UNIT. REFER TO MECHANICAL SHEETS FOR  
SCHEDULES.  
5. CONTRACTOR SHALL PROVIDE 120V POWER FOR FIRE ALARM  
ANNUNCIATOR.  
6. CONTRACTOR SHALL PROVIDE 120V POWER FOR LIGHTING  
CONTACTOR FOR EXTERIOR LIGHTING.  
7. CONTRACTOR SHALL PROVIDE 120V POWER FOR ACCESS  
CONTROL DOORS. REFER TO DETAIL 7 ON SHEET E500 FOR  
ADDITIONAL INFORMATION.



SEAL:  
NOT FOR CONSTRUCTION  
PRELIMINARY

**TINKER FEDERAL CREDIT UNION  
ARROW**

LOCATION

REVISIONS  
LABEL: DATE:

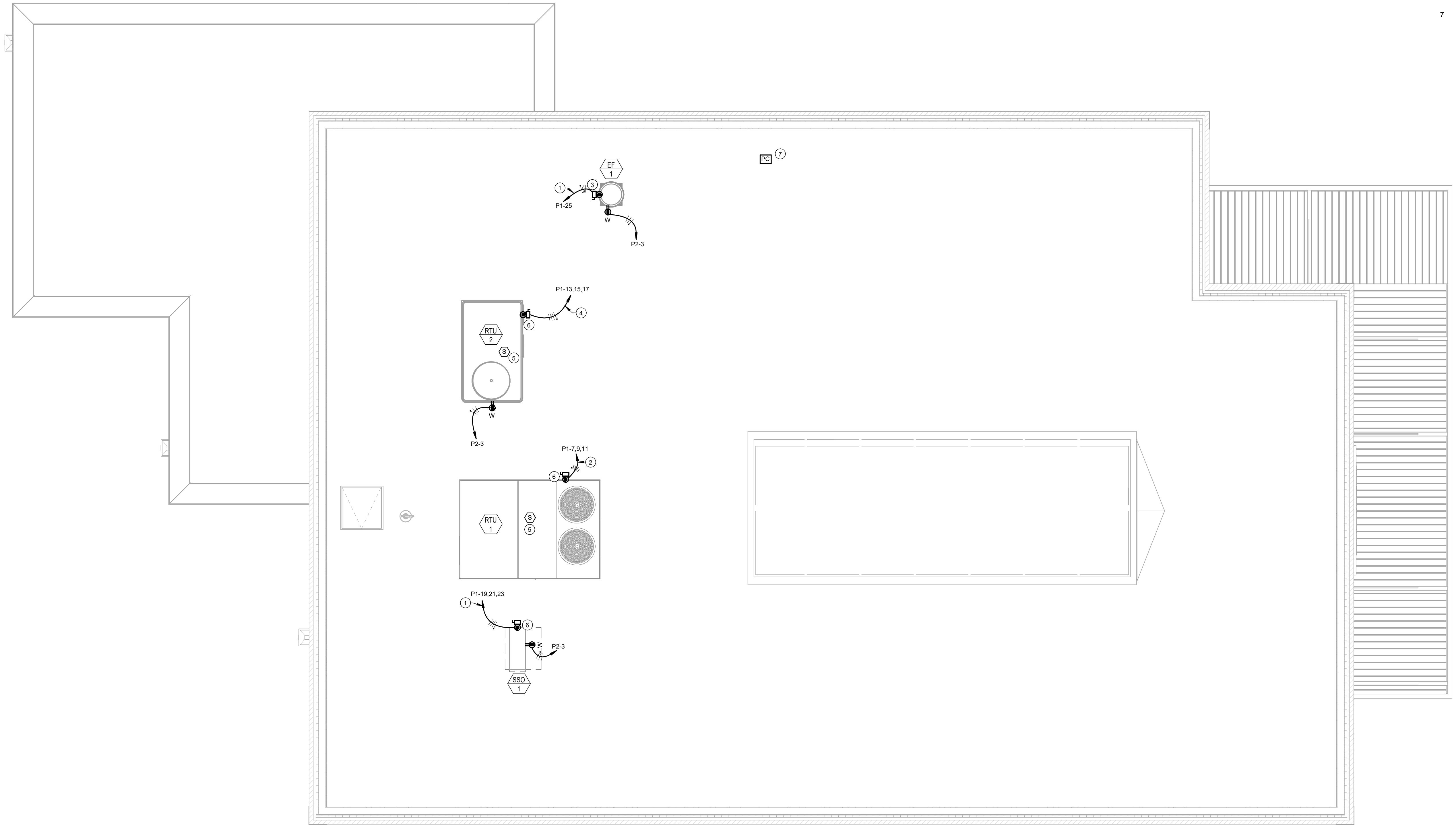
SHEET TITLE  
ELECTRICAL ROOF  
PLAN  
DATE: 09/26/17  
SHEET NUMBER  
E302

**POWER GENERAL NOTES**

- A. COORDINATE LOCATION/INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WITH ALL OTHER TRADES. NO ASPECT OF A SYSTEM INSTALLATION OR ITS ROUGH-IN SHALL COMMENCE UNTIL PROPER AND TIMELY COORDINATION WITH ALL TRADES ASSOCIATED WITH THE INSTALLATION HAS TRANSPRIRED. ITEMS TO BE COORDINATED SHALL INCLUDE BUT NOT BE LIMITED TO: LIGHTING, PLUMBING, SCAFFOLDING, PIPE, FLOORING, LIGHT FIXTURES, CONDUITS, CABLE TRAYS, ETC. REFER TO ALL GENERAL MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- B. COORDINATE ELECTRICAL REQUIREMENTS FOR MECHANICAL UNITS WITH MECHANICAL CONTRACTOR AND FINAL MECHANICAL SHOP DRAWINGS.
- C. PROVIDE PENETRATIONS REQUIRED FOR ROUTING RACEWAYS THROUGH THE BUILDING. COORDINATE FIRE RATED WALL PENETRATIONS AND PROVIDE CONDUIT SLEEVES AND FIRE STOPPING TO MAINTAIN RATING.

**KEYNOTES** #

- 1 ROUTE (3) - #12 & (1) - #12 EG, 3/4" C.
- 2 ROUTE (3) - #3 & (1) - #8 EG, 1 1/4" C.
- 3 240V 30A/1P/N/PE NEMA 3R HEAVY DUTY DISCONNECT.
- 4 ROUTE (3) - #10 & (1) - #10 EG, 3/4" C.
- 5 CONTRACTOR SHALL PROVIDE AND INSTALL DUCT SMOKE DETECTOR INSIDE OF MECHANICAL UNIT AND MAKE FINAL CONNECTIONS TO FA SYSTEM. TYPICAL.
- 6 CONTRACTOR SHALL PROVIDE AND INSTALL ELECTRICAL DISCONNECT. REFER TO MS90 SERIES FOR MECHANICAL SCAFFOLDING ELECTRICAL DISCONNECTS.
- 7 PROVIDE AND INSTALL ROOF MOUNTED PHOTOCELL (TORK 2101 OR EQUAL) FOR ACTUATION OF EXTERIOR LIGHTING CIRCUITS DERIVED FROM PANEL 'P2'. MOUNT PHOTOCELL FACING NORTH. PROVIDE ALL DEVICES, ACCESSORIES, AND CABLING AS NECESSARY.



**1 ELECTRICAL ROOF PLAN**  
1/4" = 1'-0"

BRANCH PANEL: P1																		
LOCATION: MECHANICAL 119	VOLTAGE: 120/208 WYE	SCCR RATING: 22,000																
SUPPLY FROM: UTILITY	PHASES: 3	MAINS TYPE: MCB																
MOUNTING: SURFACE	WIRES: 4	MAINS RATING: 400 A																
ENCLOSURE: TYPE 1	MCB RATING: 250 A																	
NOTES:																		
CIRCUIT DESCRIPTION	P	AMP	CKT NO	A	B	C	CKT NO	AMP	P	CIRCUIT DESCRIPTION								
WH-1	3	30 A	1	1000	9149		2											
			3		1000	9240	4	225 A	3	P2								
			5				6											
RTU-1	3	110 A	7	7590	1144		8			ATM								
			11		7590	1144	10	30 A	2	"F" FAAC								
RTU-2	3	40 A	13	2690	0		14			SPARE								
			15		2690	0	16	20 A	3									
			17			2690	0	18										
SSO-1	3	15 A	19	1153	0		20	20 A	1	SPARE								
			21		1153	0	22	20 A	1									
			23			1153	0	24										
EF-1	1	20 A	25	0	0		26	30 A	3	SPARE								
"F" FACP	1	20 A	27		240	0	28											
UH-1	2	20 A	29		1144	0	30	20 A	1	SPARE								
			31	1144	0		32	20 A	1									
CP-1	1	20 A	33		240	0	34	20 A	1	SPARE								
ATM DISPLAY MONITOR	1	20 A	35		1320	0	36	20 A	1	SPARE								
ATM DISPLAY MONITOR	1	20 A	37	1320	--		38	--	1	SPACE WITH PROVISIONS								
ATM	2	30 A	39		1144	--	40	--	1	SPACE WITH PROVISIONS								
			41				42	--	1									
					25,190 VA	24,440 VA	24,779 VA											
					210 A	204 A	207 A											
LEGEND:																		
"G" INDICATES GFCI TYPE BREAKER, "L" INDICATES PROVIDE LOCKABLE HASP																		
"F" INDICATES RED LOCK-ON HASP																		
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND				PANEL TOTALS											
LIGHTING	4,168 VA	125.00%	5,210 VA															
POWER	49,261 VA	100.00%	49,261 VA				TOTAL CONN. LOAD: 74,409 VA											
RECEPTACLE	20,980 VA	73.83%	15,490 VA				TOTAL EST. DEMAND: 69,961 VA											
							TOTAL CONN.: 207 A											
							TOTAL EST. DEMAND: 194 A											
NOTES:																		

BRANCH PANEL: P2																		
LOCATION: MECHANICAL 119	VOLTAGE: 120/208 WYE	SCCR RATING: 22,000																
SUPPLY FROM: P1	PHASES: 3	MAINS TYPE: MLO																
MOUNTING: SURFACE	WIRES: 4	MAINS RATING: 225 A																
ENCLOSURE: TYPE 1	MCB RATING: 250 A																	
NOTES:																		
CIRCUIT DESCRIPTION	P	AMP	CKT NO	A	B	C	CKT NO	AMP	P	CIRCUIT DESCRIPTION								
RECEPTACLES EXTERIOR	1	20 A	1	540	1600		2	20 A	1	"G" MICROWAVE								
RECEPTACLE ROOF	1	20 A	3		540	1200	4	20 A	1	COFFEE MAKER								
RECEPTACLES 101,102 EXTERIOR	1	20 A	5			540	1200	6	20 A	"G" REFRIGERATOR								
RECEPTACLES EXTERIOR, 123	1	20 A	7	900	1000		8	20 A	1	"G" DISHWASHER								
RECEPTACLES 111,113,114	1	20 A	9		720	918	10	20 A	1	LIGHTING 111,112,113,114,115,120,121,122,123								
RECEPTACLES 111,121,122	1	20 A	11			900	363	12	20 A	1								
RECEPTACLES 111,115,116,120	1	20 A	13	540	130		14	20 A	1	EXTERIOR LIGHTING								
QUAD RECEPTACLES TELLERS 103	1	20 A	15		720	156	16	20 A	1	EXTERIOR LIGHTING								
RECEPTACLES TELLERS 103	1	20 A	17				18	20 A	1	SITE LIGHTING								
RECEPTACLE WATER COOLER	1	20 A	19	500	639		20	20 A	1	LIGHTING 101,102,103								
RECEPTACLES 118,119	1	20 A	21		720	1386	22	20 A	1	LIGHTING 102,105,106,107,108,109,110								
RECEPTACLES DATA 118	1	20 A	23			360	1500	24	20 A	1								
RECEPTACLES CASH ROOM 117	1	20 A	25	720	240		26	20 A	1	ACCESS CONTROL DOORS								
RECEPTACLES SUPER 110	1	20 A	27		720	0	28	20 A	1	SPARE								
RECEPTACLES LOBBY 102	1	20 A	29			900	0	30	20 A	1								
RECEPTACLES 107,108,109	1	20 A	31	1080	0		32	20 A	1	SPARE								
RECEPTACLES 104,105,106	1	20 A	33		1080	0	34	20 A	1	SPARE								
QUAD RECEPTACLES 107,108,109	1	20 A	35			1080	0	36	20 A	1								
QUAD RECEPTACLES 104,105,106	1	20 A	37	1260	0		38	20 A	1	SPARE								
RECEPTACLES 104,105,106,107,108,109	1	20 A	39		1080	0	40	20 A	1	SPARE								
RECEPTACLES COUNTERTOP 123	1	20 A	41			360	0	42	20 A	1								
										SPARE								
					9,149 VA	9,240 VA	8,499 VA											
					77 A	78 A	71 A											
LEGEND:																		
"G" INDICATES GFCI TYPE BREAKER, "L" INDICATES PROVIDE LOCKABLE HASP																		
"F" INDICATES RED LOCK-ON HASP																		
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND				PANEL TOTALS											
LIGHTING	4,168 VA	125.00%	5,210 VA				TOTAL CONN. LOAD: 26,888 VA											
POWER	1,740 VA	100.00%	1,740 VA				TOTAL EST. DEM											



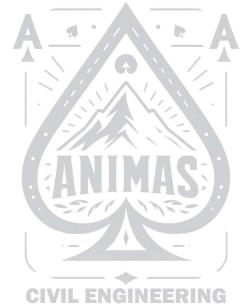
# ANIMAS CIVIL ENGINEERING

P.O. BOX 830974, RICHARDSON, TEXAS 75083

PH: 214-803-1099

OKLAHOMA ENGINEERING FIRM REG. NO. CA-9445

Jose Jimenez Rubio  
Community Development  
City of Broken Arrow  
220 S. First Street  
Broken Arrow, OK 74012



RE: TFCU – Lot 3  
5608 S. Aspen Drive  
Variance Request

Mr. Rubio:

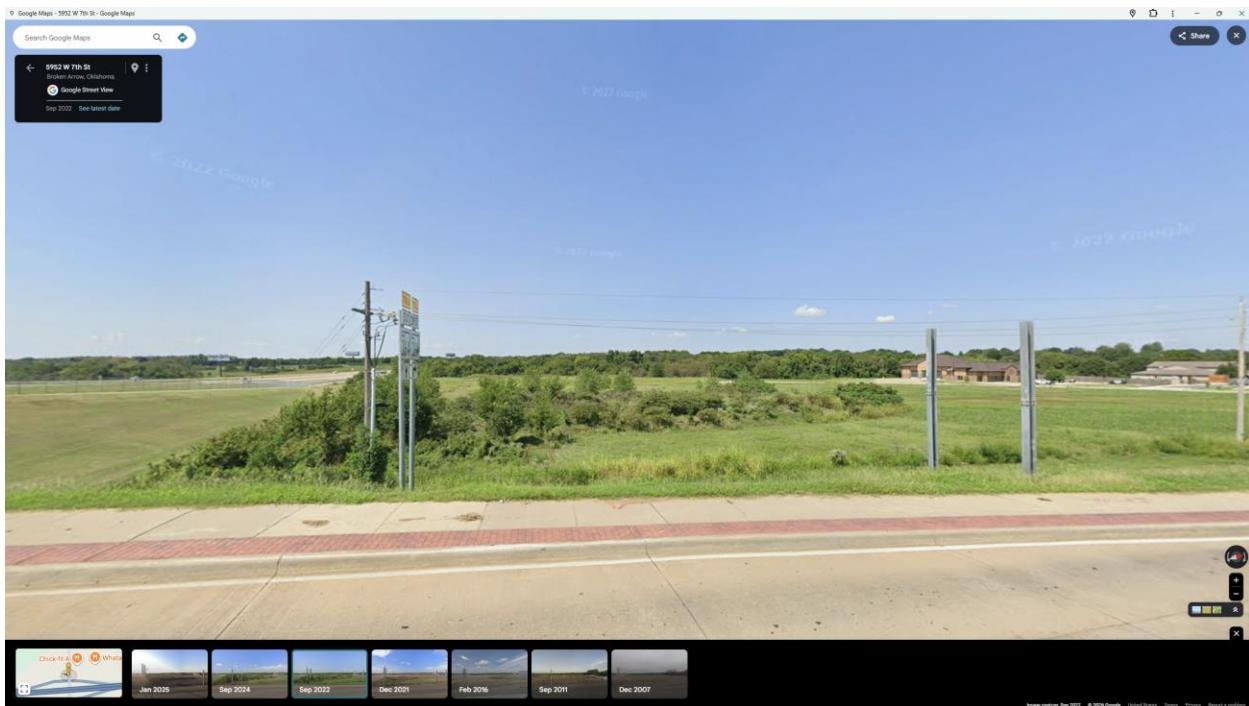
Please accept this letter on behalf of the current owner, Peak Broken Arrow, LLC, and the developer, Tinker Federal Credit Union, as our formal request for Variances to the subdivision code.

1. The property is located within the Highway Overlay Design District and requires the building orientation to face Creek Turnpike. Our request is to grant a variance to allow the building to face Aspen Avenue as there is significant topography between Creek Turnpike and the building location. The building is more visible from Aspen Avenue and has been designed to feature the primary façade along Aspen Avenue.
2. The maximum allowable parking is 125% of the code minimum requirements. A bank is required to park at 1 space per 300 square feet. The proposed bank is 4,531 square feet which requires 16 parking spaces and only allows 20 parking spaces based on code. Our request is to grant a variance to allow the site to provide additional parking as shown on the attached Site Plan (currently 38 spaces shown). TFCU expects a high volume of customers at this location similar to their other facilities throughout Oklahoma.

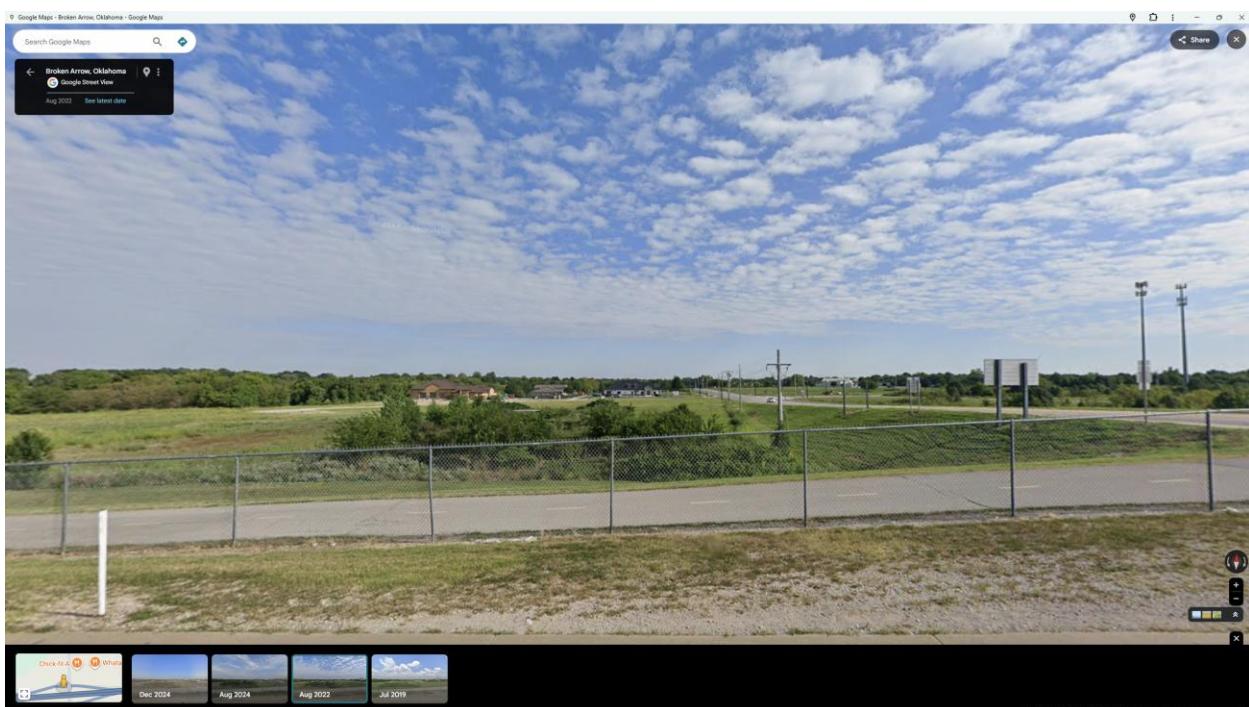
Should you have any additional comments or questions, please give me a call to discuss.

Sincerely,

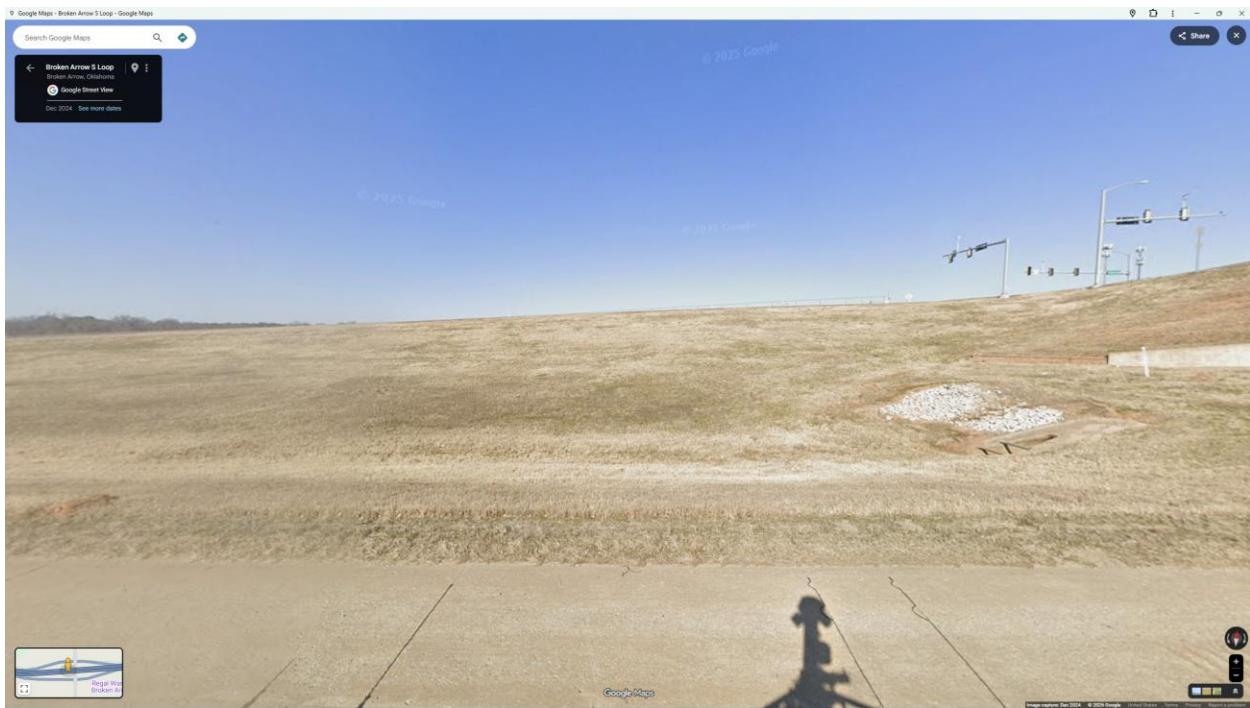
Michael Doggett, P.E.  
President  
Animas Civil Engineering



View from Aspen Avenue looking West



View from Westbound Creek Turnpike On Ramp looking North



View from Creek Turnpike Westbound looking North