

**TRAILS AT ASPEN CREEK
A MAJOR AMENDMENT TO
DEVELOPMENT AREA B**

**BROKEN ARROW
PLANNED UNIT DEVELOPMENT
ASPEN CREEK VILLAGE PUD**

#307A

April 2021

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Outline Development Plan

PUD #307, Aspen Creek Village, which is located one-quarter mile west of Aspen Avenue, one-quarter mile east of Olive Avenue, north of Tucson Street, and south of the Creek Turnpike, was reviewed and approved by the Broken Arrow City Council on May 19, 2020, subject to the property being platted. Previously, on February 4, 2014, PUD-224 and BAZ-1902, a request to rezone the same unplatted property associated with PUD-307 from A-1 to RM and CH, was approved by the City Council, subject to the property being platted. The property was not platted and as a result, PUD-224 expired. BAZ-1902, the request for RM and CH zoning, however, did not expire.

PUD-307 divided the 116.78 parcel into two Development Areas, A and B. Development Area A was for commercial uses, while Development Area B was for multifamily development. With PUD-307, Development Area B was located towards the center of the parcel.

PUD 307A

The Trails at Aspen Creek is a proposed multi-family project and is under contract to Case & Associates, a well-known developer of superior apartment dwelling designs. With PUD-307A, Development Area B for multifamily residential is being relocated from the center of the 116.78-acre parcel to the eastern edge of the property. No changes are proposed to Development Regulations of Development Area A with PUD-307A. However, some modifications are being requested with this PUD to the development regulations of Development Area B.

Property Context

Excellent access to the regional expressway system is provided by the Creek Turnpike and Highway 169. Local access is from south from Tucson Street.

Development within this PUD will be separated from adjacent properties by the addition of additional screening fences along the property boundaries. There is an existing barb wire fence on the north property line, which will remain. A new fence will be constructed on the west property line. Masonry columns will be incorporated into the design of this fence along the north and south property lines.

The Trails at Aspen Creek will provide a site for apartment living at densities not exceeding the density limits allowed under the Zoning Ordinance. The proven record of Case & Associates for quality developments, offers assurances for extraordinary projects beyond the requirements of the Zoning Ordinance.

Amenities to this development will include a community center, a large swimming pool, a pool cabana, outdoor cookers, a fire pit, a dog park and outdoor fireplace.

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Development Standards

Development Area B, the boundaries of which are described in Exhibit H, will be developed in accordance with the Broken Arrow Zoning Ordinance and the use and development regulations of the RM-Residential District, except as described herein.

Parcel Lot Area

Tract B Land Area:

26.32 Acres (1,146,584 sf)

Permitted Uses:

Uses permitted as a matter of right in the RM Residential Multifamily district and uses customarily accessory to permitted uses.

Maximum Number of Dwelling Units:

367

Maximum Building Height:

Multifamily Dwelling 3 story Bldgs.

50 FT to the highest roof ridgeline

Multifamily Garage/Dwelling 3 story Bldgs.

50 FT to the highest roof ridgeline

Multifamily Garage/Dwelling 2 story Bldgs.

35 FT to the highest roof ridgeline

Off-Street Parking:

1.75 off-street parking spaces for each Dwelling Unit.

Minimum Building Setbacks and Buffers:

North along Creek Turnpike

20 setback from Reserve A/20'

Landscape Buffer from Reserve A

South along Tucson Street

100' setback/70' Landscape Buffer

West property line abutting area

20'/setback/20' Landscape Buffer

East property line abutting creek

70'setback/70' Landscape Buffer*

*** No buildings or structures will be placed in the 100-year floodplain.**

Air conditioning condensing units shall be allowed to be located within a Building Setback or Landscape Buffer, provided that they are screened from a public right-of-way by landscaping materials. Further, balconies shall be allowed to overlap the setback and landscape buffer areas, but will not be located in any utility easements.

Minimum Distance Between Buildings:	20 feet
Minimum Livability Open Space Per Dwelling Unit: (open space not utilized for parking or drives)	1200 SF

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Building Location and Orientation

Building location and orientation will comply with Section 5.5.C.1.b.IV, of the Zoning Ordinance.

Landscaping & Screening:

Landscaping:

As required and regulated by Chapter 5, Section 5.2.B except Section 5.2.B.1.a.iv. is modified to reduce the number of trees required per dwelling unit from two trees to one tree provided each tree shall have a caliper of 3 inches (Zoning Ordinance requires 2 inch caliper) and shrubs are increased as follows:

- (a) 7.5 – 3 gallon shrubs are installed per dwelling unit (Zoning Ordinance requires 5 - 3 gallon shrubs - 50% increase); and
- (b) 5 - 1 gallon groundcover or flowering shrubs are installed per dwelling unit (Zoning Ordinance does not require any groundcover or flowering shrubs).

Landscape edge tree requirements per Chapter 5, Section 5.2.8.1.a.ii shall apply along Tucson Street and adjacent to Reserve A.

The landscape islands required by Section 5.2.8.1.c.ii.A shall be replaced by striped access aisles located next to walkways that are handicapped accessible and connect to all ground floor breezeways. Landscape materials otherwise required at the islands shall be located throughout the project.

The other provisions of Section 5.2.B shall remain in full force and effect.

Screening:

Offsets in the fence along south & north property lines shall be no longer than 50'.

- North - An architectural vinyl or ornamental metal fence with masonry columns every 50 feet on center.
- South - An architectural vinyl or ornamental metal fence with masonry columns every 50 feet on center. A vinyl split rail fence can also be used.
- West - 6' high wood privacy fence. Bracing and poles shall be oriented towards the residential use.
- East - 6' high ornamental white 3 rail fence or architectural metal fence. Any fencing in the 100-year floodplain shall be reviewed and approved by the City of Broken Arrow prior to installation.

All perimeter fences shall be maintained by the owner of the lot on which located.

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Signs:

As permitted and regulated by Chapter 5 Section 5 for Uses permitted in this PUD. Monument sign to be maximum of 64 square feet of sign surface area. All signs shall be located outside the public right-of-way and utility easement. An additional single sided freestanding sign will be allowed along the Creek Turnpike that shall not exceed 28 feet wide by 12 feet tall that does not exceed 120 sf of sign surface area. The existing off-premise advertising signs in Reserve A, while non-conforming, can continue to exist as is in conformance with Section 8.5 of the Zoning Ordinance.

Lighting:

As permitted and regulated by Chapter 5, Section 5.6 Exterior Lighting for the uses permitted in this PUD.

Building Facades:

As required and regulated by Chapter 5, Section 5.5 Multi-family Residential Building Design Standards except:

1. The maximum length of any multi-family building shall be 220 feet, Section 5.5.C.2.a (revised 7-16-12);
2. The maximum length of a continuous multi-family roofline shall be 105 feet; and
3. Exterior building materials of the clubhouse, multi-family buildings, garages, and accessory buildings (excluding doors and windows) shall be at the minimum percentages (65%, 45%, 25%, or 0%) of brick/stone as reflected on the Site Plan & Building Elevations included in Exhibit C. The remainder of exterior building walls shall be constructed with cement fiber material.

Access:

There will be two points of access along Tucson Street. In addition, there will be at least one point of emergency access to the abutting property to the West. A mutual access agreement between the two properties will be provided as part of the platting process. All gated access into the property from an abutting Tucson street shall meet the requirements of the Subdivision Regulations. Access points onto Tucson Street will meet the spacing requirements of the Broken Arrow Zoning Ordinance.

Reserve Area A is specifically reserved for a frontage road along the Creek Turnpike. While the developer is not responsible for the construction of this road, a right of way width of at least 80-feet will be dedicated as part of the platting process associated with any development in Development Area B. The owner of Reserve A is responsible for maintenance of the area, except for the street after it is constructed.

Sidewalks:

Sidewalks, at least five feet in width will be constructed by the developer Tucson Street. In addition, a sidewalk system on the interior of the development that links the overall building complex will be provided as illustrated in Exhibit I.

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Environmental Analysis

Topography:

Most of the Trails at Aspen Creek site slopes generally from west to east. There is one drainage areathat crosses the site on the east. All boundaries and topographic features are shown on Exhibit E, Site Map, Topography, Existing and Proposed Utilities.

Storm Water:

Stormwater runoff and drainage will be accommodated in accordance with the City of Broken design standards. It is expected that stormwater will be conveyed through the property in a series of storm sewers. While it is anticipated that the project will pay a fee-in-lieu of detention, a stormwater detention determination application will be submitted to confirm. The property generally drains easterly and southerly.

The storm water drainage concept is shown on Exhibit D, Drainage.

Utilities:

Water:

There is an existing 16" water line along the entire Tucson Street frontage. Internal 6" and 8" water lines will be extended through the project as required for potable water and fire service. The water service concept layout is shown on Exhibit E.

Sanitary Sewer:

An existing 10" sanitary sewer is located on north side of Tucson Street for the entire frontage. The sanitary sewer will be a gravity system. There is an existing sewer along the north half of the east property line.

Electric power, natural gas, telephone and cable television services are presently at the site and will be extended internally to serve the project.

The area zoning and land uses are shown on Exhibit F, Zoning Map

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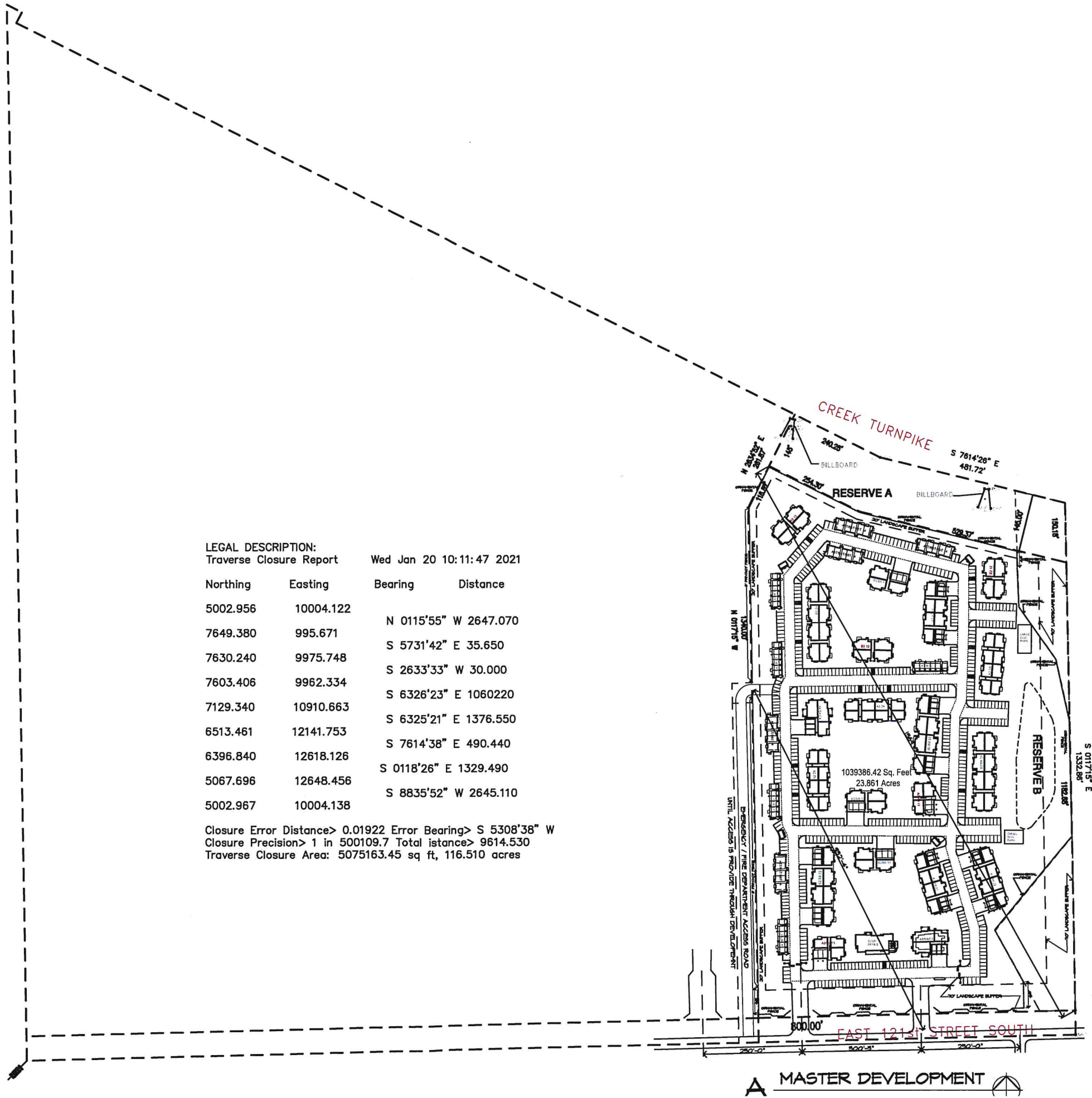
#307A

Platting

No building permit shall be granted for any lot or parcel within The Trails at Aspen Creek until the property within Aspen Creek Village has been platted in accord with the requirements of the Broken Arrow Subdivision Code. The 100-year floodplain on the east part of the property will be placed in a reserve area as required by the Subdivision Regulations. The maintenance of this reserve area will be the responsibility of the property owner.

Site Plan Review

No building permit shall be issued for any building or sign to be constructed within The Trails at Aspen Creek until a site plan and detail sign plan have been submitted to and approved by the City of Broken Arrow in accord with the approved planned unit development and the provisions of the Broken Arrow Zoning Code.



LEGAL DESCRIPTION:
Traverse Closure Report Wed Jan 20 10:11:47 2021

Northing	Easting	Bearing	Distance
5002.956	10004.122	N 0115°55" W 2647.070	
7649.380	995.671	S 5731°42" E 35.650	
7630.240	9975.748	S 2633°33" W 30.000	
7603.406	9962.334	S 6326°23" E 1060220	
7129.340	10910.663	S 6325°21" E 1376.550	
6513.461	12141.753	S 7614°38" E 490.440	
6396.840	12618.126	S 0118°26" E 1329.490	
5067.696	12648.456	S 8835°52" W 2645.110	
5002.967	10004.138		

Closure Error Distance> 0.01922 Error Bearing> S 5308°38" W
Closure Precision> 1 in 500109.7 Total distance> 9614.530
Traverse Closure Area: 5075163.45 sq ft, 116.510 acres

REVISIONS

PROJECT: **The Trails at Aspen Creek**

LOCATION: **BROKEN ARROW, OKLAHOMA**

CLIENT: **CASE DEVELOPMENT SERVICES**

SEAL:

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THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SEC. 102 OF THE COPYRIGHT ACT OF 1976, AS AMENDED DECEMBER 1980 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE ORIGIN, FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF DESIGN. UNDER SUCH PROTECTION UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDINGS REPRESENTED CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO ARCHITECTS COLLECTIVE.

Architects Collective

4200 EAST SKELLY DRIVE SUITE 750
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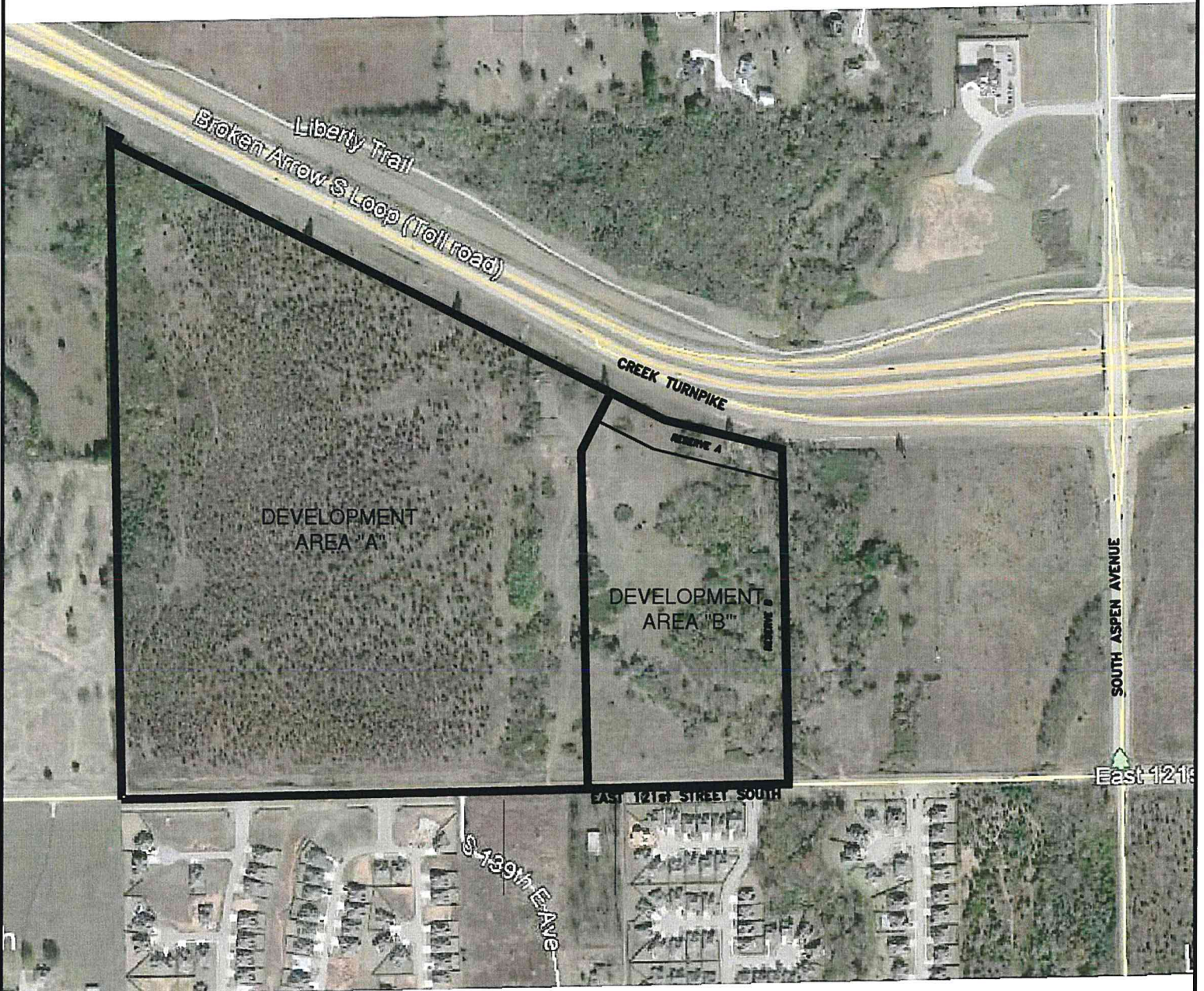
PROJECT NUMBER
DATE

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
EXHIBIT A



1"=600'



*THE TRAILS AT ASPEN CREEK
AERIAL PHOTO*

EXHIBIT B



ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

CLUB ELEVATION 65% Masonry

EXHIBIT C1



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ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

A2A9 ELEVATION

65% Masonry

EXHIBIT C2





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ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

B2B8 ELEVATION

65% Masonry

EXHIBIT C3





ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

A3B3 REAR ELEVATION

65% Masonry

EXHIBIT C4

NOTICE OF COPYRIGHT

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Architects
Collective



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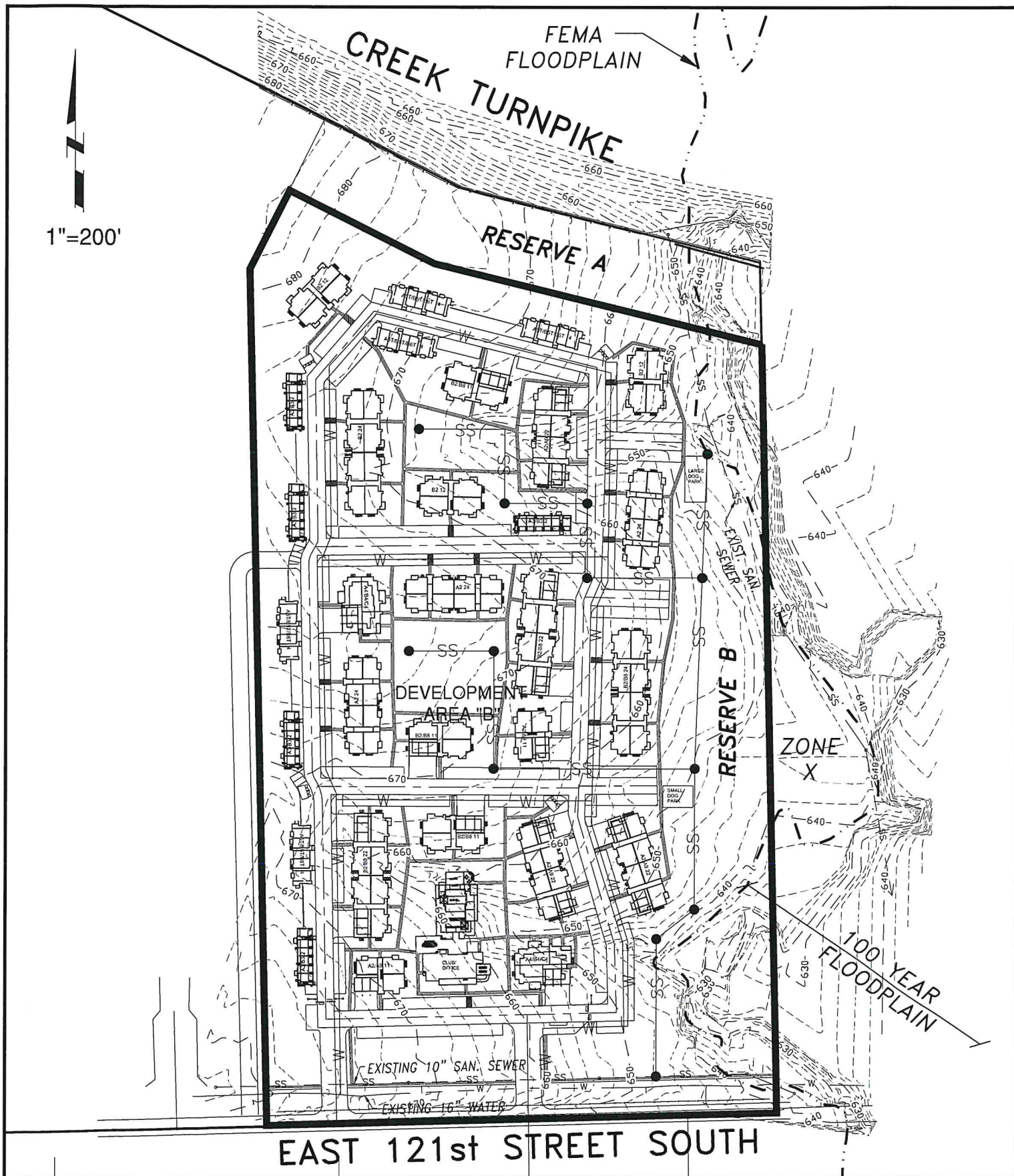
ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

A4B4B5 ELEVATION

65% Masonry

EXHIBIT C5





*THE TRAILS AT ASPEN CREEK
TOPO, EXISTING UTILITIES & PROPOSED UTILITIES*

EXHIBIT E

EXHIBIT H
LEGAL DESCRIPTION DEVELOPMENT AREA A

A TRACT OF LAND THAT IS PART OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE SOUTHWEST CORNER OF THE E/2 OF THE SW/4 OF SAID SECTION 33; THENCE NORTH 01°15'55" WEST ALONG THE WEST LINE OF SAID E/2 SW/4 FOR 2647.07 FEET TO THE NORTHWEST CORNER OF SAID E/2 OF THE SW/4, SAID POINT BEING ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE CREEK TURNPIKE; THENCE SOUTH 57°31'42" EAST ALONG SAID RIGHT OF WAY FOR 35.65 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE SOUTH 26°33'33" WEST FOR 30.00 FEET; THENCE SOUTH 63°26'23" EAST ALONG SAID RIGHT OF WAY LINE FOR 1060.22 FEET; THENCE SOUTH 63°25'21" EAST CONTINUING ALONG SAID RIGHT OF WAY LINE FOR 1143.36 FEET; THENCE SOUTH 26°34'39" WEST FOR 257.20 FEET; THENCE SOUTH 01°18'26" EAST AND PARALLEL WITH THE EAST LINE OF THE W/2 SE/4 FOR 1340.00 FEET TO A POINT ON THE SOUTH LINE OF THE S/2 OF SAID SECTION 33; THENCE SOUTH 88°35'52" WEST ALONG THE SOUTH LINE OF SAID SECTION 33 A DISTANCE OF 1845.11 FEET TO THE POINT OF BEGINNING. BASIS OF BEARING OF SAID TRACT IS THE RECORD BEARING OF NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA AS SHOWN ON THE GENERAL WARRANTY DEED RECORDED IN DOCUMENT # 2003073357 OF THE RECORDS OF THE TULSA COUNTY CLERK. SAID TRACT CONTAINS 3,928,579 SQUARE FEET OR 90.188 ACRES MORE OR LESS.

LEGAL DESCRIPTION DEVELOPMENT AREA "B"

A TRACT OF LAND THAT IS PART OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE E/2 OF THE SW/4 OF SAID SECTION 33; THENCE NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF SECTION SAID 33 A DISTANCE OF 1845.11 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°18'26" WEST AND PARALLEL WITH THE EAST LINE OF W/2 OF THE SE/4 OF SAID SECTION 33 FOR 1340.00 FEET; THENCE NORTH 26°34'39" EAST for 257.20 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE CREEK TURNPIKE; THENCE SOUTH 63°25'21" EAST ALONG SAID RIGHT-OF-WAY LINE FOR 233.19 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE SOUTH 76°14'38" EAST FOR 490.44 FEET; TO A POINT ON THE EAST LINE OF THE W/2 OF THE SE/4 OF SAID SECTION 33; THENCE SOUTH 01°18'26" EAST ALONG SAID EAST LINE OF THE W/2 OF THE SE/4 FOR 1329.49 FEET TO THE SOUTHEAST CORNER OF THE W/2 SAID OF THE SE/4 OF SECTION 33; THENCE SOUTH 88°35'52" WEST ALONG THE SOUTH LINE OF SECTION 33, A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. BASIS OF BEARING OF SAID TRACT IS THE RECORD BEARING OF NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA AS SHOWN ON THE GENERAL WARRANTY DEED RECORDED IN DOCUMENT # 2003073357 OF THE RECORDS OF THE TULSA COUNTY CLERK.

SAID TRACT CONTAINS 1,146,584 SQUARE FEET OR 26.322 ACRES MORE OR LESS.

Project Name: The Trails at Aspen Creek
Broken Arrow, OK
Case & Associates
March 25, 2021

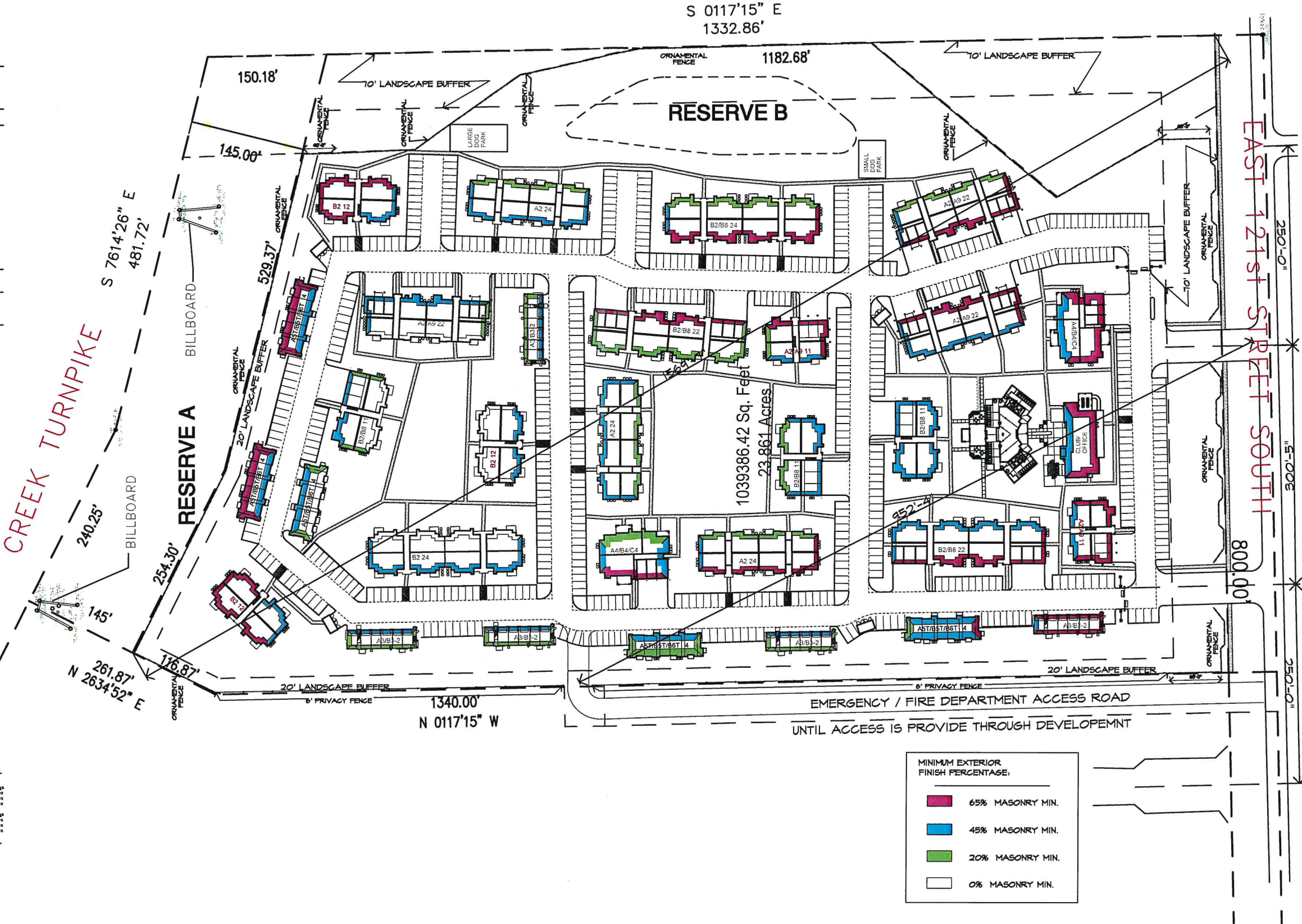
Unit Area	22.88 Gross Acres	1,029,285 s.f.
Units		
120	Unit type A2 One Bedroom Units of total	719 s.f.
5	Unit type A3 One Bedroom Units of total	94,580 s.f.
6	Unit type A4 One Bedroom Units of total	4,830 s.f.
10	Unit type A5 One Bedroom Units of total	958 s.f.
40	Unit type A6 One Bedroom Units of total	819 s.f.
114	Unit type B2 Two Bedroom Units of total	110,160 s.f.
5	Unit type B3 Two Bedroom Units of total	119,700 s.f.
4	Unit type B4 Two Bedroom Units of total	111 s.f.
5	Unit type B5 Two Bedroom Units of total	1216 s.f.
47	Unit type B6 Two Bedroom Units of total	1108 s.f.
0	Unit type C1 Three Bedroom Units of total	52,076 s.f.
5	Unit type B7 Two Bedroom Units of total	1098 s.f.
4	Unit type C4 Three Bedroom Units of total	1248 s.f.
365	Units Total	6,250 s.f.
196	Garages	40,420 s.f.
	TOTAL	396,431 s.f.

103 Total Barrier Free Units Required (Accessable)
7 Barrier Free Units Constructed (Handicap)

		Size Area
5 Buildings type A3/B3.2 (Garage Bldg)		
2	Unit Type A3/B3 One & Two Bedroom Units	21,710 s.f.
8	garages	4,342 s.f.
2	unit/second floor	2,109 s.f.
0	unit/first floor	2,233 s.f.
0	unit/basement floor	0 s.f.
3 Buildings type A2.2		
24	Unit Type A2 One Bedroom Units	98,898 s.f.
8	unit/ground floor	18,538 s.f.
8	unit/second floor	6,312 s.f.
8	unit/first floor	6,312 s.f.
0	unit/basement floor	0 s.f.
2 Buildings type A3/B3.2 11 unit w/ garage		
11	Unit Type A2 & A3 One Bedroom Units	20,182 s.f.
3	garages	10,091 s.f.
3	unit/ground floor	932 s.f.
4	unit/second floor	2,487 s.f.
0	unit/first floor	3,336 s.f.
0	unit/basement floor	2,336 s.f.
3 Buildings type A3/B3.2 11 unit w/ garage		
22	Unit Type A2 & A3 One Bedroom Units	60,346 s.f.
6	garages	20,122 s.f.
6	unit/ground floor	1,564 s.f.
6	unit/second floor	4,914 s.f.
8	unit/first floor	6,072 s.f.
0	unit/basement floor	6,072 s.f.
1 Buildings type B2.2		
24	Unit Type B2 Two Bedroom Units	25,200 s.f.
8	unit/ground floor	25,200 s.f.
8	unit/second floor	8,400 s.f.
8	unit/first floor	8,400 s.f.
0	unit/basement floor	0 s.f.
1 Buildings type B2.2		
24	Unit Type B2 & B3 Two Bedroom Units	25,896 s.f.
8	unit/ground floor	25,896 s.f.
8	unit/second floor	8,632 s.f.
8	unit/first floor	8,632 s.f.
0	unit/basement floor	8,632 s.f.
3 Buildings type B2.2 - 12 unit		
12	Unit Type B2 & B3 Two Bedroom Units	37,890 s.f.
4	unit/ground floor	12,630 s.f.
4	unit/second floor	12,630 s.f.
4	unit/first floor	12,630 s.f.
0	unit/basement floor	0 s.f.
3 Buildings type B2/B3.2 - 11 unit w/ garage		
11	Unit Type B2 & B3 Two Bedroom Units	38,844 s.f.
3	garages	38,844 s.f.
3	unit/ground floor	1,108 s.f.
4	unit/second floor	3,208 s.f.
4	unit/first floor	4,316 s.f.
0	unit/basement floor	4,316 s.f.
2 Buildings type B2/B3.2 w/ garage		
22	Unit Type B2 & B3 Two Bedroom Units	52,200 s.f.
8	garages	32,200 s.f.
8	unit/ground floor	28,600 s.f.
8	unit/second floor	2,920 s.f.
8	unit/first floor	6,416 s.f.
0	unit/basement floor	8,632 s.f.
2 Buildings type A3/B3.2 w/ garage		
7	Unit Type A4 One, Two, & Three Bedroom Units	17,410 s.f.
3	garages	17,410 s.f.
3	unit/ground floor	1,176 s.f.
4	unit/second floor	4,819 s.f.
0	unit/first floor	4,819 s.f.
0	unit/basement floor	0 s.f.
6 Buildings type A3/B3.2 w/ garage		
4	Unit Type A3/B3 One & Two Bedroom Units	33,075 s.f.
5	garages	6,915 s.f.
4	unit/ground floor	2,205 s.f.
4	unit/second floor	2,205 s.f.
0	unit/first floor	2,205 s.f.
0	unit/basement floor	2,205 s.f.
30 Buildings Total		
Maintenance Building		719 s.f.
1 Clubhouse/Pool Building		7,493 s.f.
31 Buildings (Total Project Square Footage)		398,643 s.f.

Parking Required	183	1 BR Units	1.5 spaces each	274 spaces
Parking Provided	184	2 BR Units	2 spaces each	368 spaces
Handicapped usable parking spaces total for units				13 spaces
Open Parking Spaces				550 spaces
Garages				100 spaces
Handicapped usable parking spaces total (part of total spaces)				13 spaces

Building Area	Gross Bldg Area
First Floor Buildings Area	140,199 s.f.
Second Floor Buildings Area	130,079 s.f.
Third Floor Buildings Area	118,492 s.f.
Area of Parking + Area of First Floor Buildings	306,169 s.f.
Area of Pool	0 s.f.
Open Space	734,186 s.f.
Open Space to Lot Area	71 %



MINIMUM EXTERIOR FINISH PERCENTAGE:	
65% MASONRY MIN.	
45% MASONRY MIN.	
20% MASONRY MIN.	
0% MASONRY MIN.	

EXTENT OF MASONRY PLAN
1" = 60'-0"
0 15 30 60 120

REVISIONS

The Trails at Aspen Creek

PROJECT: BROKEN ARROW, OKLAHOMA
LOCATION: CASE DEVELOPMENT SERVICES

SEAL: REGISTERED ARCHITECT
STATE OF OKLA

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PROJECT NUMBER: 184
DATE: 03/25/21

SHEET TITLE: SITE PLAN

SHEET NUMBER: EXHIBIT I