

**TRAILS AT ASPEN CREEK
A MAJOR AMENDMENT TO
DEVELOPMENT AREA B**

**BROKEN ARROW
PLANNED UNIT DEVELOPMENT
ASPEN CREEK VILLAGE PUD**

#307A

April 2021

PREPARED BY:



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Outline Development Plan

PUD #307, Aspen Creek Village, which is located one-quarter mile west of Aspen Avenue, one-quarter mile east of Olive Avenue, north of Tucson Street, and south of the Creek Turnpike, was reviewed and approved by the Broken Arrow City Council on May 19, 2020, subject to the property being platted. Previously, on February 4, 2014, PUD-224 and BAZ-1902, a request to rezone the same unplatte property associated with PUD-307 from A-1 to RM and CH, was approved by the City Council, subject to the property being platted. The property was not platted and as a result, PUD-224 expired. BAZ-1902, the request for RM and CH zoning, however, did not expire.

PUD-307 divided the 116.78 parcel into two Development Areas, A and B. Development Area A was for commercial uses, while Development Area B was for multifamily development. With PUD-307, Development Area B was located towards the center of the parcel.

PUD 307A

The Trails at Aspen Creek is a proposed multi-family project and is under contract to Case & Associates, a well-known developer of superior apartment dwelling designs. With PUD-307A, Development Area B for multifamily residential is being relocated from the center of the 116.78-acre parcel to the eastern edge of the property. No changes are proposed to Development Regulations of Development Area A with PUD-307A. However, some modifications are being requested with this PUD to the development regulations of Development Area B.

Property Context

Excellent access to the regional expressway system is provided by the Creek Turnpike and Highway 169. Local access is from south from Tucson Street.

Development within this PUD will be separated from adjacent properties by the addition of additional screening fences along the property boundaries. There is an existing barb wire fence on the north property line, which will remain. A new fence will be constructed on the west property line. Masonry columns will be incorporated into the design of this fence along the north and south property lines.

The Trails at Aspen Creek will provide a site for apartment living at densities not exceeding the density limits allowed under the Zoning Ordinance. The proven record of Case & Associates for quality developments, offers assurances for extraordinary projects beyond the requirements of the Zoning Ordinance.

Amenities to this development will include a community center, a large swimming pool, a pool cabana, outdoor cookers, a fire pit, a dog park and outdoor fireplace.

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Development Standards

Development Area B, the boundaries of which are described in Exhibit H, will be developed in accordance with the Broken Arrow Zoning Ordinance and the use and development regulations of the RM-Residential District, except as described herein.

Parcel Lot Area

Tract B Land Area:

26.32 Acres (1,146,584 sf)

Permitted Uses:

Uses permitted as a matter of right in the RM Residential Multifamily district and uses customarily accessory to permitted uses.

Maximum Number of Dwelling Units:

367

Maximum Building Height:

Multifamily Dwelling 3 story Bldgs.

50 FT to the highest roof ridgeline

Multifamily Garage/Dwelling 3 story Bldgs.

50 FT to the highest roof ridgeline

Multifamily Garage/Dwelling 2 story Bldgs.

35 FT to the highest roof ridgeline

Off-Street Parking:

1.75 off-street parking spaces for each Dwelling Unit.

Minimum Building Setbacks and Buffers:

North along Creek Turnpike 20 setback from Reserve A/20'

Landscape Buffer from Reserve A

South along Tucson Street 100' setback/70' Landscape Buffer

West property line abutting area 20'/setback/20' Landscape Buffer

East property line abutting creek 70'setback/70' Landscape Buffer*

* No buildings or structures will be placed in the 100-year floodplain.

Air conditioning condensing units shall be allowed to be located within a Building Setback or Landscape Buffer, provided that they are screened from a public right-of-way by landscaping materials. Further, balconies shall be allowed to overlap the setback and landscape buffer areas, but will not be located in any utility easements.

Minimum Distance Between Buildings:	20 feet
Minimum Livability Open Space Per Dwelling Unit: (open space not utilized for parking or drives)	1200 SF

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Building Location and Orientation

Building location and orientation will comply with Section 5.5.C.1.b.IV, of the Zoning Ordinance.

Landscaping & Screening:

Landscaping:

As required and regulated by Chapter 5, Section 5.2.B except Section 5.2.B.1.a.iv. is modified to reduce the number of trees required per dwelling unit from two trees to one tree provided each tree shall have a caliper of 3 inches (Zoning Ordinance requires 2 inch caliper) and shrubs are increased as follows:

- (a) 7.5 – 3 gallon shrubs are installed per dwelling unit (Zoning Ordinance requires 5 - 3 gallon shrubs - 50% increase); and
- (b) 5 - 1 gallon groundcover or flowering shrubs are installed per dwelling unit (Zoning Ordinance does not require any groundcover or flowering shrubs).

Landscape edge tree requirements per Chapter 5, Section 5.2.8.1.a.ii shall apply along Tucson Street and adjacent to Reserve A.

The landscape islands required by Section 5.2.8.1.c.ii.A shall be replaced by striped access aisles located next to walkways that are handicapped accessible and connect to all groundfloor breezeways. Landscape materials otherwise required at the islands shall be located throughout the project.

The other provisions of Section 5.2.B shall remain in full force and effect.

Screening:

Offsets in the fence along south & north property lines shall be no longer than 50'.

North -	An architectural vinyl or ornamental metal fence with masonry columns every 50 feet on center..
South -	An architectural vinyl or ornamental metal fence with masonry columns every 50 feet on center. A vinyl split rail fence can also be used.
West -	6' high wood privacy fence. Bracing and poles shall be oriented towards the residential use.
East -	6' high ornamental white 3 rail fence or architectural metal fence. Any fencing in the 100-year floodplain shall be reviewed and approved by the City of Broken Arrow prior to installation.

All perimeter fences shall be maintained by the owner of the lot on which located.

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Signs:

As permitted and regulated by Chapter 5 Section 5 for Uses permitted in this PUD. Monument sign to be maximum of 64 square feet of sign surface area. All signs shall be located outside the public right-of-way and utility easement. An additional single sided freestanding sign will be allowed along the Creek Turnpike that shall not exceed 28 feet wide by 12 feet tall that does not exceed 120 sf of sign surface area. The existing off-premise advertising signs in Reserve A, while non-conforming, can continue to exist as is in conformance with Section 8.5 of the Zoning Ordinance.

Lighting:

As permitted and regulated by Chapter 5, Section 5.6 Exterior Lighting for the uses permitted in this PUD.

Building Facades:

As required and regulated by Chapter 5, Section 5.5 Multi-family Residential Building Design Standards except:

1. The maximum length of any multi-family building shall be 220 feet, Section 5.5.C.2.a (revised 7-16-12);
2. The maximum length of a continuous multi-family roofline shall be 105 feet; and
3. Exterior building materials of the clubhouse, multi-family buildings, garages, and accessory buildings (excluding doors and windows) shall be at the minimum percentages (65%, 45%, 25%, or 0%) of brick/stone as reflected on the Site Plan & Building Elevations included in Exhibit C. The remainder of exterior building walls shall be constructed with cement fiber material.

Access:

There will be two points of access along Tucson Street. In addition, there will be at least one point of emergency access to the abutting property to the West. A mutual access agreement between the two properties will be provided as part of the platting process. All gated access into the property from an abutting Tucson street shall meet the requirements of the Subdivision Regulations. Access points onto Tucson Street will meet the spacing requirements of the Broken Arrow Zoning Ordinance.

Reserve Area A is specifically reserved for a frontage road along the Creek Turnpike. While the developer is not responsible for the construction of this road, a right of way width of at least 80-feet will be dedicated as part of the platting process associated with any development in Development Area B. The owner of Reserve A is responsible for maintenance of the area, except for the street after it is constructed.

Sidewalks:

Sidewalks, at least five feet in width will be constructed by the developer Tucson Street. In addition, a sidewalk system on the interior of the development that links the overall building complex will be provided as illustrated in Exhibit I.

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Environmental Analysis

Topography:

Most of the Trails at Aspen Creek site slopes generally from west to east. There is one drainage area that crosses the site on the east. All boundaries and topographic features are shown on Exhibit E, Site Map, Topography, Existing and Proposed Utilities.

Storm Water:

Stormwater runoff and drainage will be accommodated in accordance with the City of Broken design standards. It is expected that stormwater will be conveyed through the property in a series of storm sewers. While it is anticipated that the project will pay a fee-in-lieu of detention, a stormwater detention determination application will be submitted to confirm. The property generally drains easterly and southerly.

The storm water drainage concept is shown on Exhibit D, Drainage.

Utilities:

Water:

There is an existing 16" water line along the entire Tucson Street frontage. Internal 6" and 8" water lines will be extended through the project as required for potable water and fire service. The water service concept layout is shown on Exhibit E.

Sanitary Sewer:

An existing 10" sanitary sewer is located on north side of Tucson Street for the entire frontage. The sanitary sewer will be a gravity system. There is an existing sewer along the north half of the east property line.

Electric power, natural gas, telephone and cable television services are presently at the site and will be extended internally to serve the project.

The area zoning and land uses are shown on Exhibit F, Zoning Map

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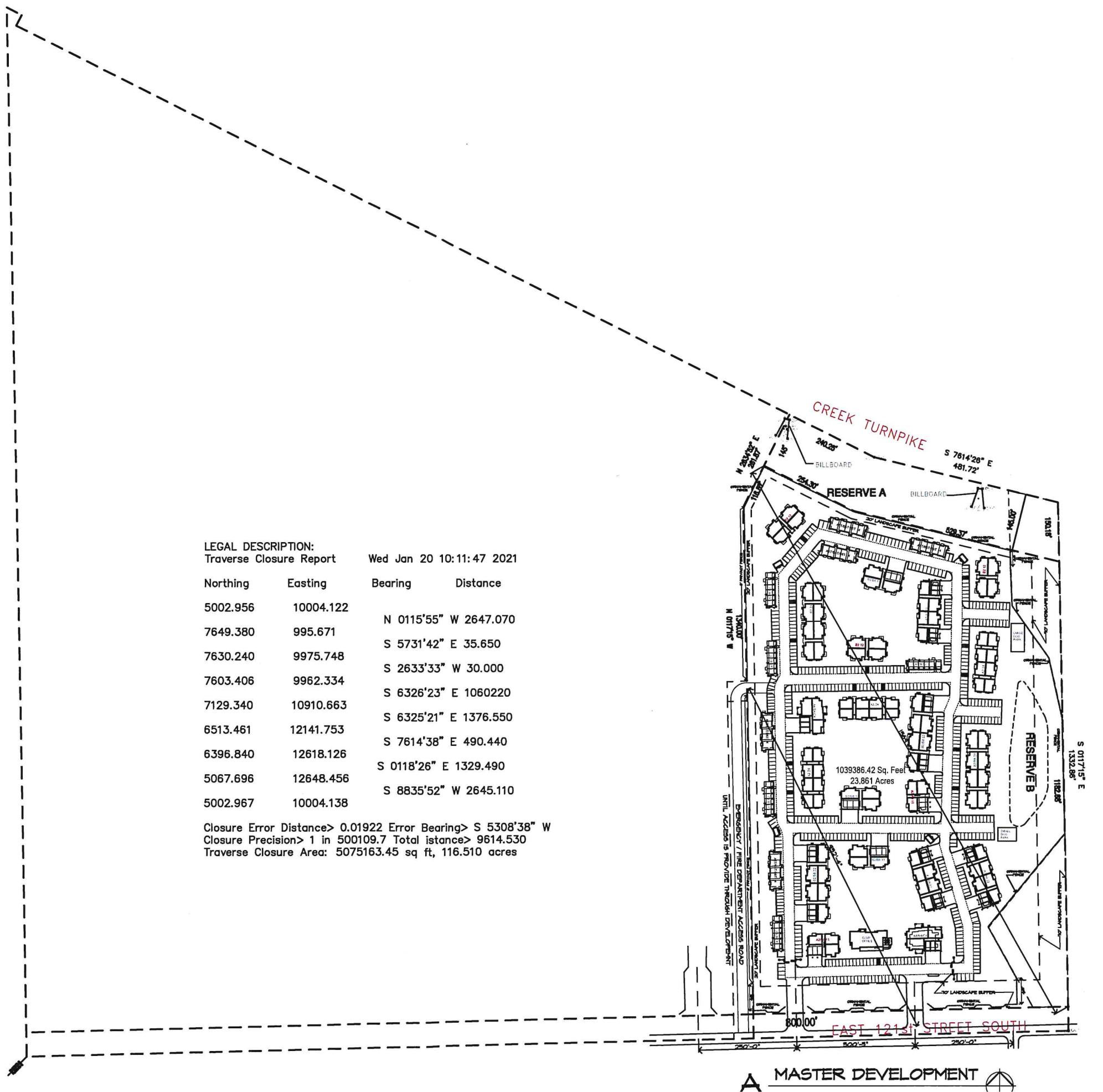
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Platting

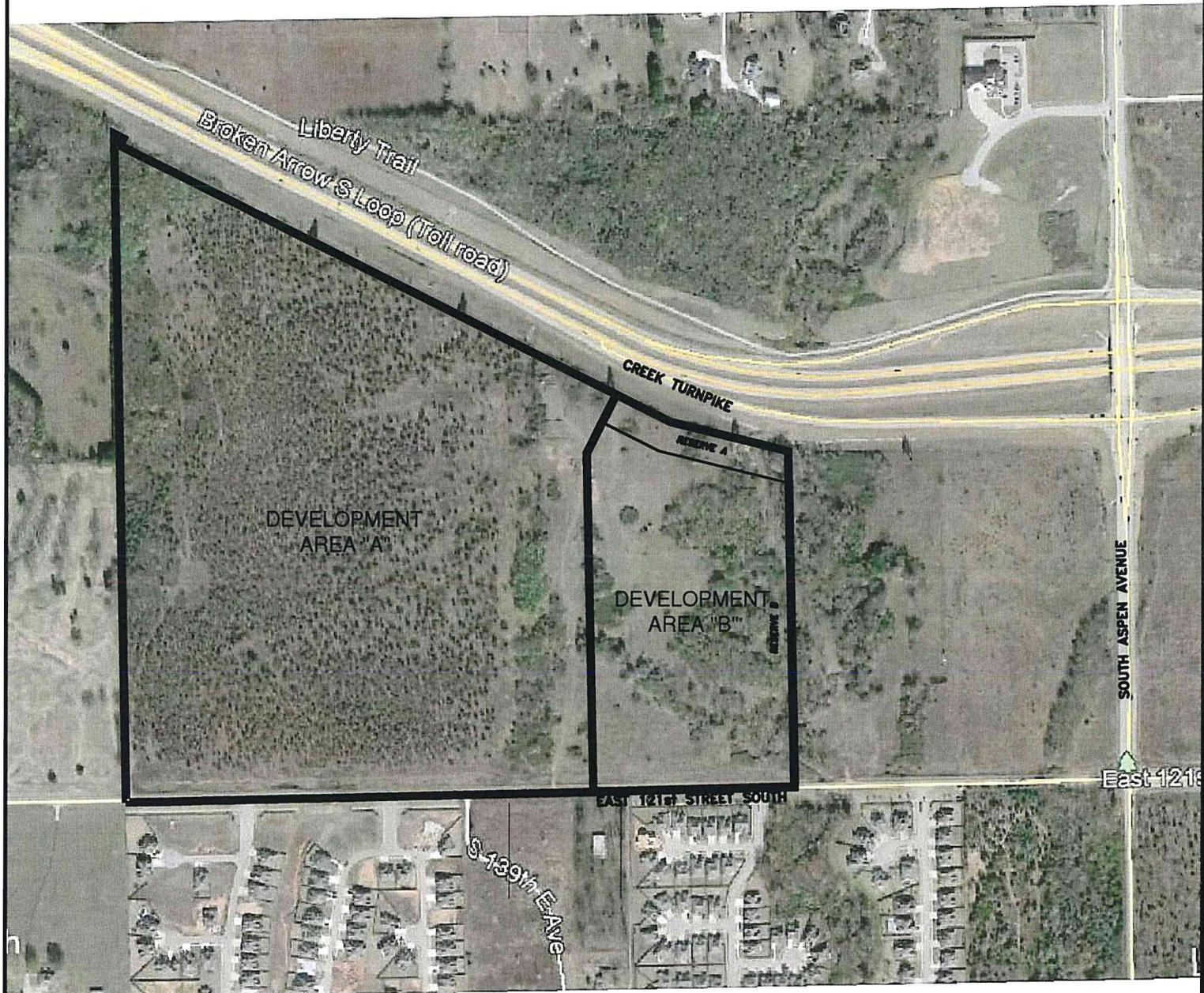
No building permit shall be granted for any lot or parcel within The Trails at Aspen Creek until the property within Aspen Creek Village has been platted in accord with the requirements of the Broken Arrow Subdivision Code. The 100-year floodplain on the east part of the property will be placed in a reserve area as required by the Subdivision Regulations. The maintenance of this reserve area will be the responsibility of the property owner.

Site Plan Review

No building permit shall be issued for any building or sign to be constructed within The Trails at Aspen Creek until a site plan and detail sign plan have been submitted to and approved by the City of Broken Arrow in accord with the approved planned unitdevelopment and the provisions of the Broken Arrow Zoning Code.



1"=600'



*THE TRAILS AT ASPEN CREEK
AERIAL PHOTO*

EXHIBIT B



ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

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CLUB ELEVATION
65% Masonry
EXHIBIT C1





ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

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Architects Collective, Inc.

A2A9 ELEVATION
65% Masonry

EXHIBIT C2





ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

14

B2B8 ELEVATION

65% Masonry

EXHIBIT C3





ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

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A3B3 REAR ELEVATION
65% Masonry
EXHIBIT C4

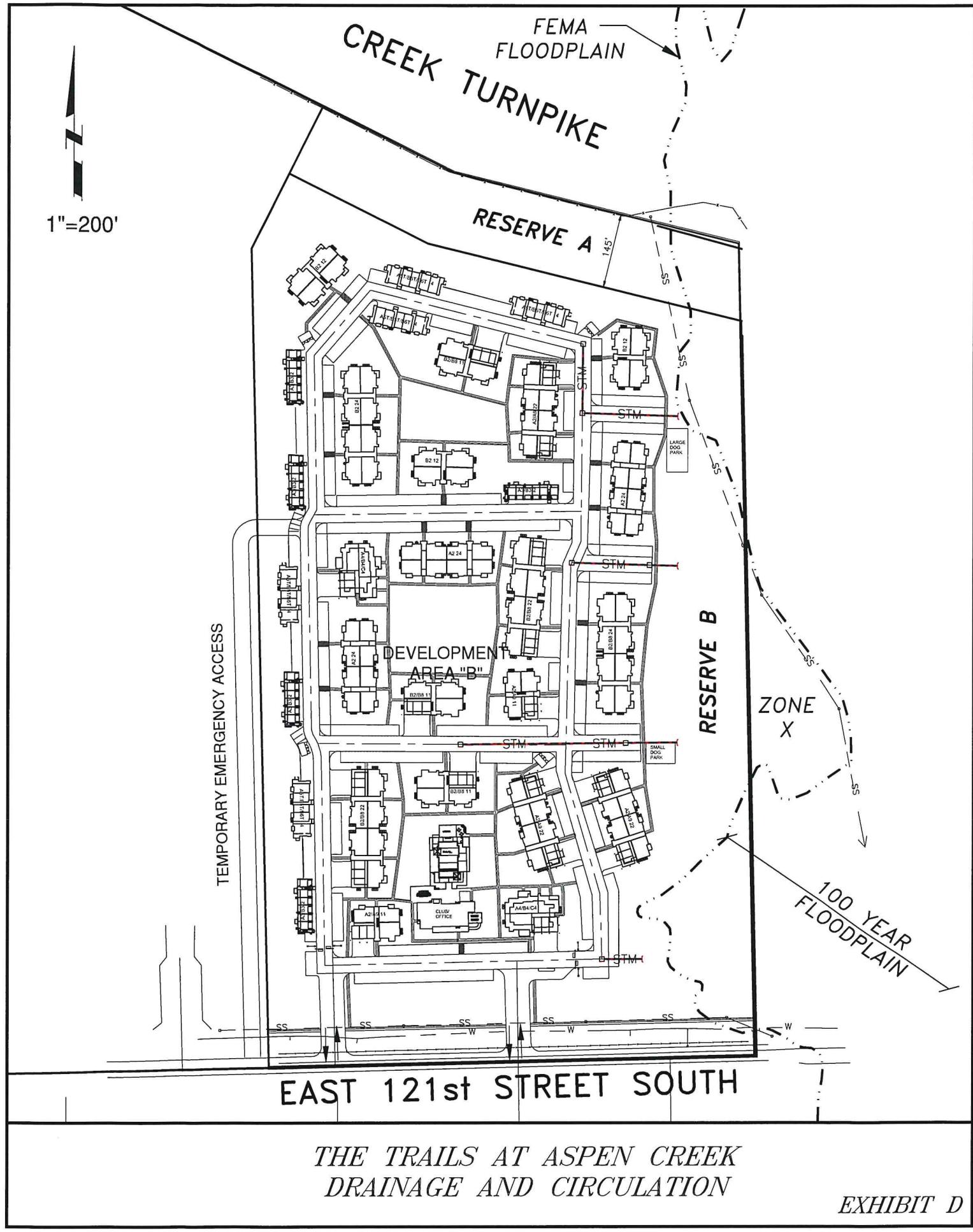




ILLUSTRATIVE EXTERIOR VIEW
NO SCALE

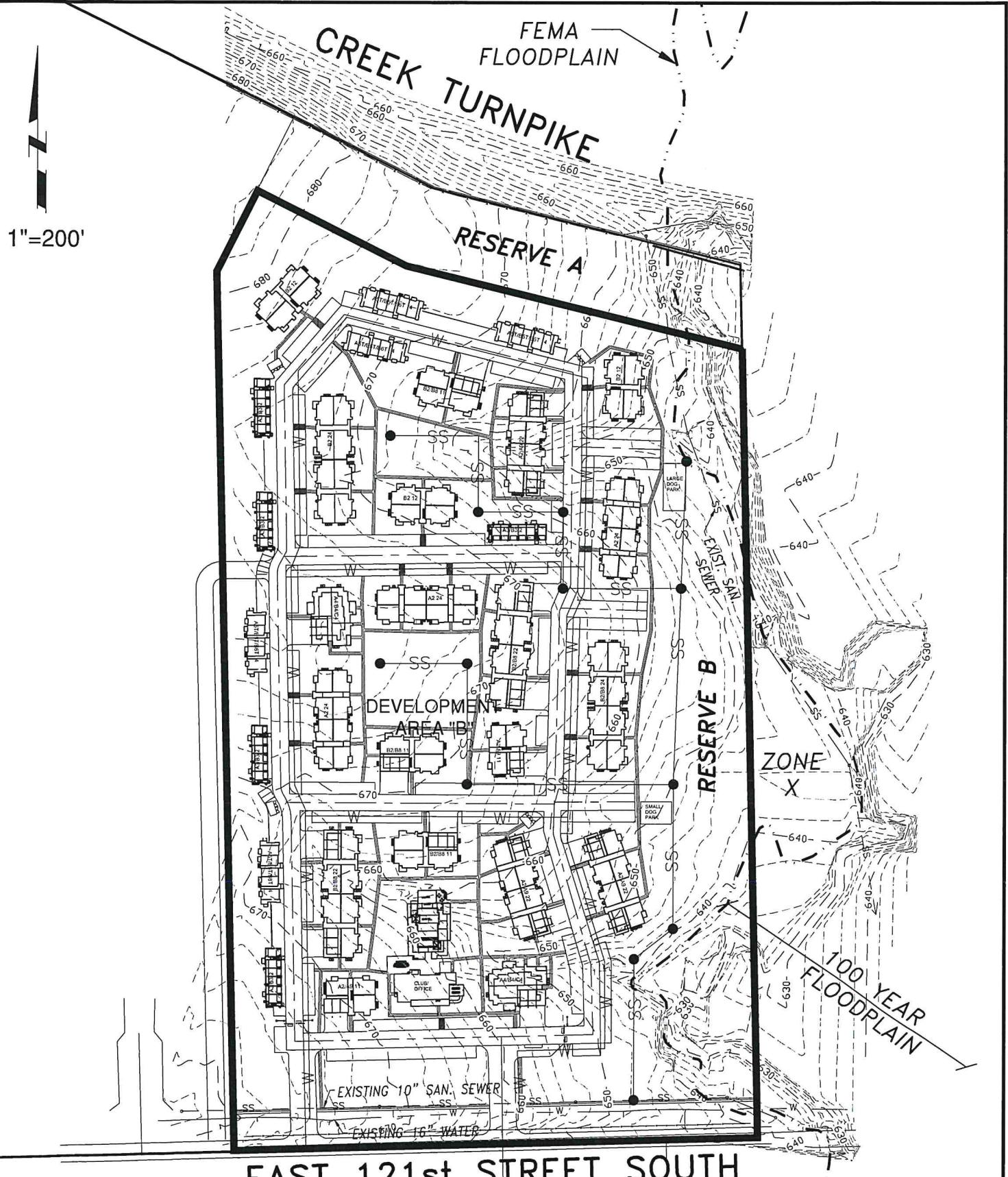
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A4B4B5 ELEVATION
65% Masonry
EXHIBIT C5



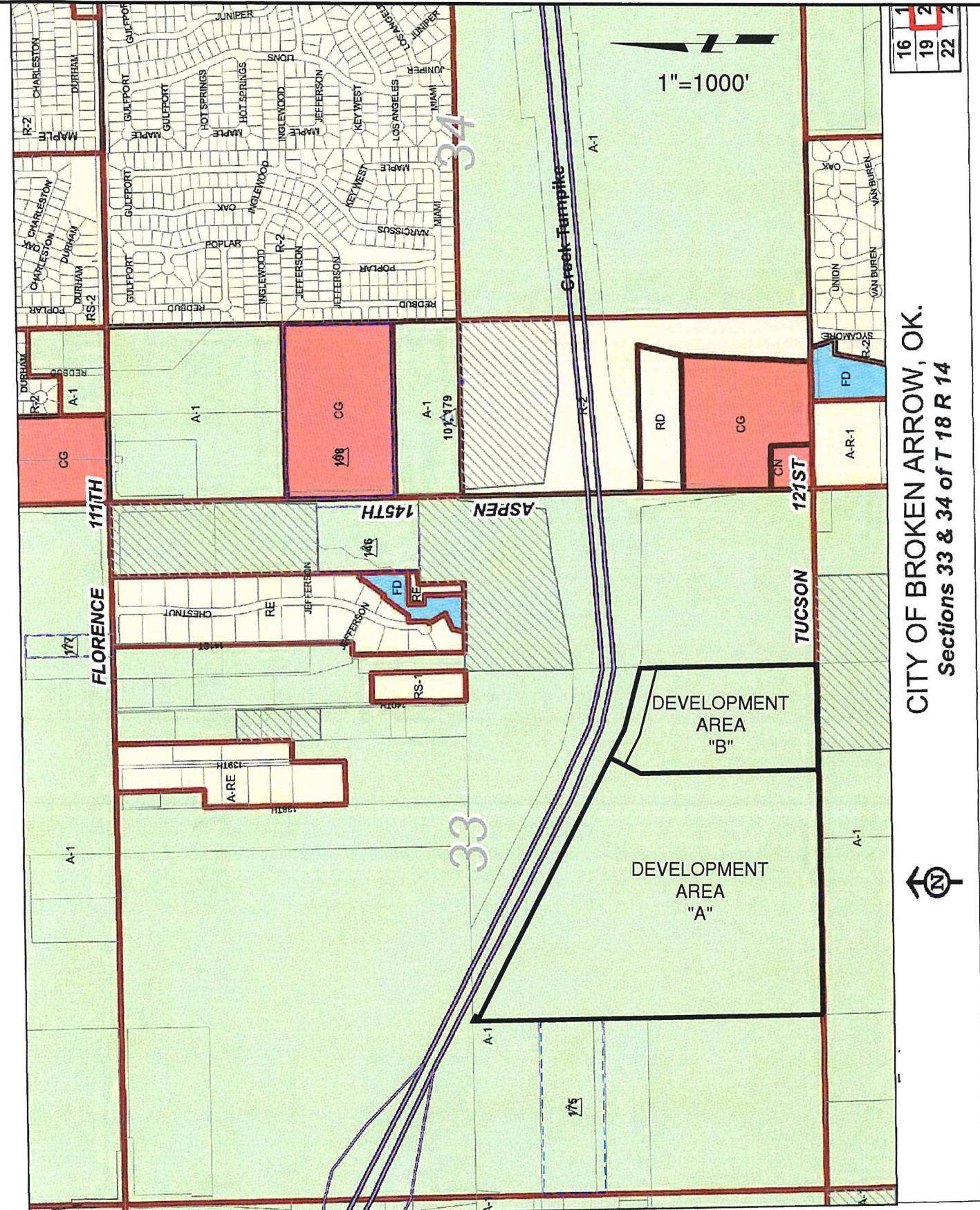
THE TRAILS AT ASPEN CREEK DRAINAGE AND CIRCULATION

EXHIBIT D



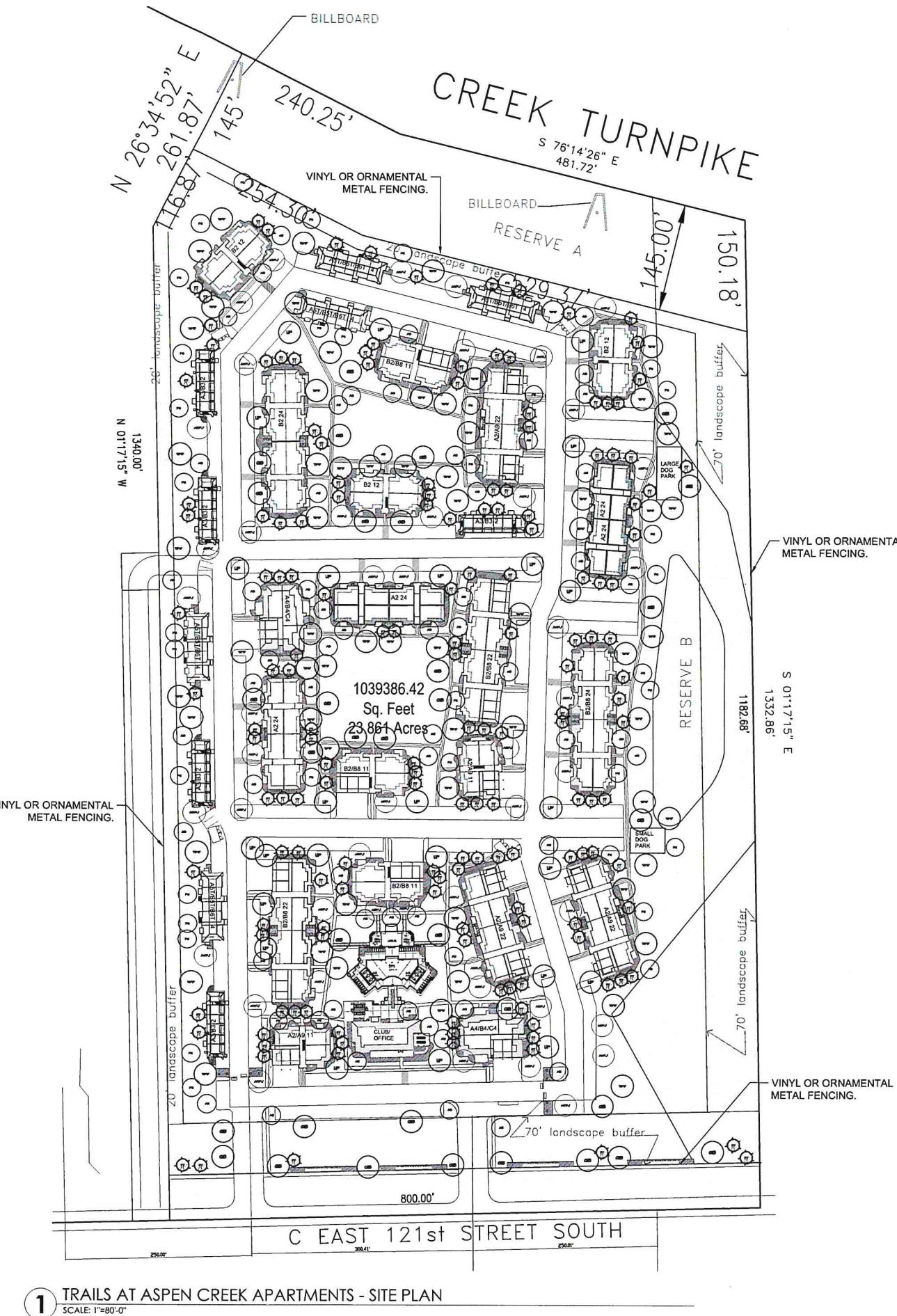
THE TRAILS AT ASPEN CREEK TOPO, EXISTING UTILITIES & PROPOSED UTILITIES

EXHIBIT E

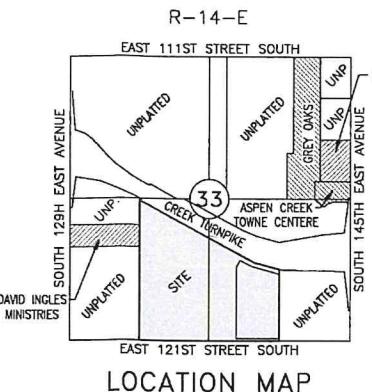


THE TRAILS AT ASPEN CREEK
ZONING MAP

EXHIBIT F



1 TRAILS AT ASPEN CREEK APARTMENTS - SITE PLAN
SCALE: 1=80'-0"



5.2-LANDSCAPING REQUIREMENTS

DETAIL LANDSCAPE PLAN:

TOTAL LOT AREA 50, FOOTAGE: 1034505 SF
MINIMUM LANDSCAPED AREA REQUIRED: 30% 31016 SF
LANDSCAPED AREA PROVIDED: 45% 465554 SF

STREET YARD AREA PER STREET FRONTAGE
STREET NAME: EAST 121ST STREET, REQUIRED (SF) 83,910 SF

LANDSCAPED AREA PER STREET FRONTAGE (STREET YARD)
STREET NAME: EAST 121ST STREET, REQUIRED (SF) 12,587 SF PROVIDED 19,888 SF

FRONTAGE REQUIREMENTS

ONE TREE FOR EACH 50 LF OF STREET FRONTAGE

E. 121ST STREET
STREET FRONTAGE LF= 800
800 LF / 50= 16
3 GALLON SHRUBS REQUIRED ON FRONTAGE (800 TOTAL LF)= 10 SHRUBS PER 50 LF
FRONTAGE SHRUBS PROVIDED= 162

TREES REQUIRED= 16
TREES PROVIDED= 16

PARKING REQUIREMENTS

ONE TREE FOR EVERY 15 PARKING SPACES

TOTAL PARKING SPACES= 656
TREES REQUIRED= 44
TREES PROVIDED= 44

*PUD ADDITIONAL TREE/SHRUB REQUIREMENTS PER HOUSING UNIT RM DISTRICT

SHRUB CALCULATION
3 GALLON OR LARGER SHRUBS REQUIRED= (656 UNITS) x 1.5/UNIT (2,784)
3 GALLON OR LARGER SHRUBS PROVIDED= 1,622

1 GALLON SHRUBS REQUIRED= (656 UNITS) x 5/UNIT (1,625)
1 GALLON SHRUBS PROVIDED= 1,622

TREE CALCULATION
TREES REQUIRED IN LANDSCAPE =
1 (3") TREE/UNIT (656) (per amended PUD ordinance) = 656 TREES

CERTIFICATION NOTICE:

P.D.G. INC. DOING PLANNING DESIGN GROUP THAT CERTIFIES ALL THE FOLLOWING LANDSCAPE PLANS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF (PUD 224 CITY OF BROKEN ARROW ZONING CODE SECTION 5.2, LANDSCAPE REQUIREMENTS). THIS CERTIFICATION IS BASED ON OUR INTERPRETATION OF THE ZONING CODE. SHOULD ANYTHING BE FOUND CONTRADICTORY TO THIS, NOTIFY P.D.G. AND THE DISCREPANCY WILL BE CORRECTED IMMEDIATELY.

IRRIGATION:

ALL ORDINANCE REQUIRED LANDSCAPE AREA TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

*PUD AMMENDMENT PER SECTION 5.2.B.1.d.v

**MINIMUM LANDSAFE PLAN SHOWN. OWNER MAY CHOOSE TO EXCEED THE MINIMUM LANDSCAPE REQUIREMENTS WITH TREES & SHRUBS.

TRAILS AS ASPEN CREEK APARTMENTS LANDSCAPE MATERIAL LIST

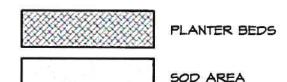
KEY	QUAN.	MATERIAL NAME	SIZE/REMARK	TYPE
AB'A'	60	Acer buergerianum 'Aargin'	15'-14' H 3" CAL. (ABH)	B+B
AGRC'	40	Abelia x grandiflora 'Rose Creek'	15'-20' H 24"-30" D.	3 GAL.
ART'J	40	Aucuba Japonica 'J' PIP#1623	12'-14' H 3" CAL.	B+B
BMB'	120	Buddleia 'Microphylla Biflora'	24"-30' H 2" CAL.	3 GAL.
CAKE'	120	Calandrinia calycina 'Karl Foerster'	2"-15' H 24"-30" D.	3 GAL.
HPP	40	Karl Foerster's Feature Creeping Grass	12"-15" H 2" O.G.	3 GAL.
ICEN'	120	Hedera 'Aurea' 'Aurea Variegata'	15"-18" H 2" O.G.	3 GAL.
ICG'	120	Ilex cornuta 'Burfordii Nana'	2"-15" H 2" O.G.	15 GAL.
LM	120	Ilex X 'Coca'	4"-5" H Full to ground	1 GAL.
MCF'	120	Leptandra 'Red Holly'	6"-8" H 12"-15" D.	1 GAL.
MSML'	120	Ligustrum 'Eximus'	15"-18" H 2" O.G.	1 GAL.
NFL'	120	Mahonia aquifolium 'Aurifolium'	24"-30" H 2" O.G.	1 GAL.
PG	120	Mitchella repens 'Alba'	10"-12" H 3" CAL.	B+B
PF	120	Physalis chenopodioides	24"-30" H 3" CAL.	3 GAL.
PT	120	Prunus 'Krauteri'	3"-4" H 3" CAL.	50 GAL.
QB	22	Lobelia 'Purpurea'	3"-4" H 3" CAL.	B+B
RTEB'	120	Quercus bicolor	3"-4" H 3" CAL.	B+B
SORR'	120	Rubus 'Ludwigia' 'Ludwigia'	10"-12" H 10"-12" D.	1 GAL.
TDS'	64	Salvia 'Black and Blue'	24"-30" H 2" O.G.	1 GAL.
UP	25	Salvia 'Autumn Sage'	12"-14" H 3" CAL. (ABH)	B+B
SOD	462249	Taxodium distichum 'Sofine' PIP#451	12"-14" H 3" CAL. (ABH)	B+B
MULCH	340	Ulmus parvifolia 'Pendula' 'Pendula'	12"-14" H 3" CAL. (ABH)	B+B
COMPOST	140	Ulmus parvifolia 'Pendula' 'Pendula'	N.A.	S.F.

H HEIGHT, S SPREAD CAL/GAL/PC. O.G. = CENTER (Approximate), B+B=BALLED & BURLAPPED
GAL/GAL=ALTERNATE NUMBER ONE
THE MATERIAL LIST IS PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, PLACEMENT, AND COVERAGE OF THE PLANTING PLAN AND COVERAGE OF THE SITE AREAS. IF DISCREPANCIES OCCUR BETWEEN THE MATERIAL LIST AND THE PLANTING PLAN, THE PLANTING PLAN SUPERSEDES THE MATERIAL LIST IN ALL CASES. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PLANTS AND COVERAGE OF BLD AREAS ON THE PLANTING PLAN.

NOTE: ALL TREES OTHER THAN THOSE SPECIES LISTED AS SMALL TREES IN SECTION 5.2 OF THE ZONING ORDINANCE, ARE NOT PLANTED UNDER OR WITHIN 20' LATERAL FEET OF ANY OVERHEAD UTILITY WIRE OR WITHIN 5' LATERAL FEET OF ANY UNDERGROUND PUBLIC UTILITY LINE.

TREES HAVE BEEN VERIFIED TO BE AT LEAST 10 FEET FROM ANY FIRE HYDRANT.

MINIMUM LANDSCAPE REQUIREMENTS LEGEND



PLANTING NOTES

- OUTLINE ALL PLANTING BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH BED PREPARATION.
- STAKE ALL TREE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO DIGGING THE PLANTING BEDS.
- REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA GRASS IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS. STEEL EDGING SHALL BE 5/16" X 1" STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY JOSEPH RYERSON, DALLAS, TEXAS. EDGING AROUND RESIDENTIAL UNITS TO BE SHOVEL CUT, SMOOTH FLOWING LINES AS INDICATED ON PLAN.
- WITHIN APPROVED BED AREAS, PREPARE SOIL BY ROTOTILLING TWO INCHES (2") OF COMPOST (BACK TO NATURE SOIL COND-TIONER) OVER THE ENTIRE BED AREA TO A DEPTH OF SIX INCHES (6").
- SPREAD AN EVEN TWO INCHES (2") LAYER OF MULCH WITHIN ALL TREE WELLS.
- SPREAD AN EVEN LAYER OF (1-2") RIVER ROCK OVER ENTIRE PLANTING BED.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACKFILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL.
- AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) GREEN METAL SPLIT TEE FENCE POSTS AND TIED WITH WIRE THROUGH THE HOSE AS PER DETAIL.
- APPLY OSMOCOTE AT A RATE OF 1/2 POUND PER TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUNDCOVER PLANTING BEDS.
- BASE IS NOT SURVEYED INFORMATION CONDITIONS WILL VARY ON SITE. CONTRACTOR TO MAKE PLANT MATERIAL ADJUSTMENTS TO MEET SITE CONDITIONS AFTER PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL SHRUBS SCREENING THE PARKING LOT SHALL BE PLANTED AT LEAST 24" AWAY FROM CURB LINE. ALL TREES SHALL BE PLANTED AT LEAST 5' FROM BUILT STRUCTURES AND SIDEWALKS. ALL VEGETATION MUST BE PLANTED IN SUCH A MANNER THAT SIGHT DISTANCE TRIANGLES ARE NOT OBSTRUCTED.

SODDING SUMMARY NOTES

- REFER TO PROJECT MANUAL FOR FURTHER SPECIFICATIONS.
- FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. FLOAT SMOOTH TO REMOVE RIDGES AND FILLED DEPRESSIONS AS REQUIRED TO REMOVE RIDGES AND FILLED DEPRESSIONS AS REQUIRED TO DRAIN.
- APPLY APPROVED FERTILIZER ON FINISH GRADE PRIOR TO SOD INSTALLATION AT A RATE OF ONE (1) POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET.
- LAY SOD TO FORM A SOLID MASS TIGHTLY-FITTED JOINTS, DO NOT OVERLAY EDGES, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- WATER SOD LIGHTLY THEN ROLL WITH A WATER FILLED COMMERCIAL LAWN ROLLER TO ENSURE CONTACT WITH SUBGRADE AND TO INSURE A SMOOTH SURFACE FREE OF CLUMPS AND DEPRESSIONS.
- ON 3% SLOPES OR GREATER SOD SHALL BE INSTALLED PERPENDICULAR TO SLOPE AND SECURED WITH APPROVED WOOD STAKES AS NEEDED TO PREVENT SOD FROM SLOUGHING OFF SLOPES.
- THE SITE IS TO BE KEPT CLEAN AND ORDERLY. ALL TRASH, INCLUDING DEBRIS FROM REMOVING WEEDS OR ROCKS FROM SODDED AREAS, SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. ALL PAVED AREAS SHALL BE KEPT CLEAN BY HOsing AND/OR SWEEPING.

DUTY OF COOPERATION

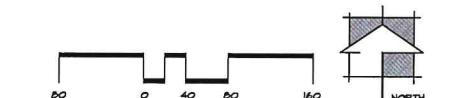
P.D.G. INC. DOING PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONSULTANTS AND THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH THE ARCHITECT WITH ALL INFORMATION, DRAWINGS, AND DATA AS REQUIRED FOR THE ARCHITECT'S DESIGN AND CONSTRUCTION COSTS. THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT OF THE USE OF THESE PLANS SHALL EXPOSE THE CONTRACTOR TO A FEE FOR THE USE OF THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

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ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE HAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY ARCHITECTS COLLECTIVE.

EXHIBIT A



PROJECT INFORMATION
PROJECT ADDRESS:
BROKEN ARROW, OKLAHOMA
PROJECT NO. N/A
DATE 04/12/21
DRAWN BY MC
CHECKED BY MC

ISSUE/REVISIONS
04/12/21 ISSUED SHEET
06/01/21 REVISED SHEET

OWNER:
CASE & ASSOCIATES
4200 East 42nd DR.,
Suite 800
Tulsa, OK 74105
OFFICE: (918) 492-1983
FAX: (918) 492-8423

LSO
LANDSCAPE
ORDINANCE
EXHIBIT A

EXHIBIT H
LEGAL DESCRIPTION DEVELOPMENT AREA A

A TRACT OF LAND THAT IS PART OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE SOUTHWEST CORNER OF THE E/2 OF THE SW/4 OF SAID SECTION 33; THENCE NORTH 01°15'55" WEST ALONG THE WEST LINE OF SAID E/2 SW/4 FOR 2647.07 FEET TO THE NORTHWEST CORNER OF SAID E/2 OF THE SW/4, SAID POINT BEING ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE CREEK TURNPIKE; THENCE SOUTH 57°31'42" EAST ALONG SAID RIGHT OF WAY FOR 35.65 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE SOUTH 26°33'33" WEST FOR 30.00 FEET; THENCE SOUTH 63°26'23" EAST ALONG SAID RIGHT OF WAY LINE FOR 1060.22 FEET; THENCE SOUTH 63°25'21" EAST CONTINUING ALONG SAID RIGHT OF WAY LINE FOR 1143.36 FEET; THENCE SOUTH 26°34'39" WEST FOR 257.20 FEET; THENCE SOUTH 01°18'26" EAST AND PARALLEL WITH THE EAST LINE OF THE W/2 SE/4 FOR 1340.00 FEET TO A POINT ON THE SOUTH LINE OF THE S/2 OF SAID SECTION 33; THENCE SOUTH 88°35'52" WEST ALONG THE SOUTH LINE OF SAID SECTION 33 A DISTANCE OF 1845.11 FEET TO THE POINT OF BEGINNING. BASIS OF BEARING OF SAID TRACT IS THE RECORD BEARING OF NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA AS SHOWN ON THE GENERAL WARRANTY DEED RECORDED IN DOCUMENT # 2003073357 OF THE RECORDS OF THE TULSA COUNTY CLERK. SAID TRACT CONTAINS 3,928,579 SQUARE FEET OR 90.188 ACRES MORE OR LESS.

LEGAL DESCRIPTION DEVELOPMENT AREA "B"

A TRACT OF LAND THAT IS PART OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE SOUTHWEST CORNER OF THE E/2 OF THE SW/4 OF SAID SECTION 33; THENCE NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF SECTION SAID 33 A DISTANCE OF 1845.11 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°18'26" WEST AND PARALLEL WITH THE EAST LINE OF W/2 OF THE SE/4 OF SAID SECTION 33 FOR 1340.00 FEET; THENCE NORTH 26°34'39" EAST for 257.20 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE CREEK TURNPIKE; THENCE SOUTH 63°25'21" EAST ALONG SAID RIGHT-OF-WAY LINE FOR 233.19 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE SOUTH 76°14'38" EAST FOR 490.44 FEET; TO A POINT ON THE EAST LINE OF THE W/2 OF THE SE/4 OF SAID SECTION 33; THENCE SOUTH 01°18'26" EAST ALONG SAID EAST LINE OF THE W/2 OF THE SE/4 FOR 1329.49 FEET TO THE SOUTHEAST CORNER OF THE W/2 SAID OF THE SE/4 OF SECTION 33; THENCE SOUTH 88°35'52" WEST ALONG THE SOUTH LINE OF SECTION 33, A DISTANCE OF 800.00 FEET TO THE POINT OF BEGINNING. BASIS OF BEARING OF SAID TRACT IS THE RECORD BEARING OF NORTH 88°35'52" EAST ALONG THE SOUTH LINE OF THE SOUTH HALF (S/2) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA AS SHOWN ON THE GENERAL WARRANTY DEED RECORDED IN DOCUMENT # 2003073357 OF THE RECORDS OF THE TULSA COUNTY CLERK.

SAID TRACT CONTAINS 1,146,584 SQUARE FEET OR 26.322 ACRES MORE OR LESS.

THE TRAILS AT ASPEN CREEK
LEGAL DESCRIPTION

EXHIBIT H



NOTICE OF COPYRIGHT
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Architects
Collective

4200 EAST SKELLY DRIVE SUITE 750
TULSA, OKLAHOMA 74133
984-492-2987

PROJECT NUMBER:
DATE:

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

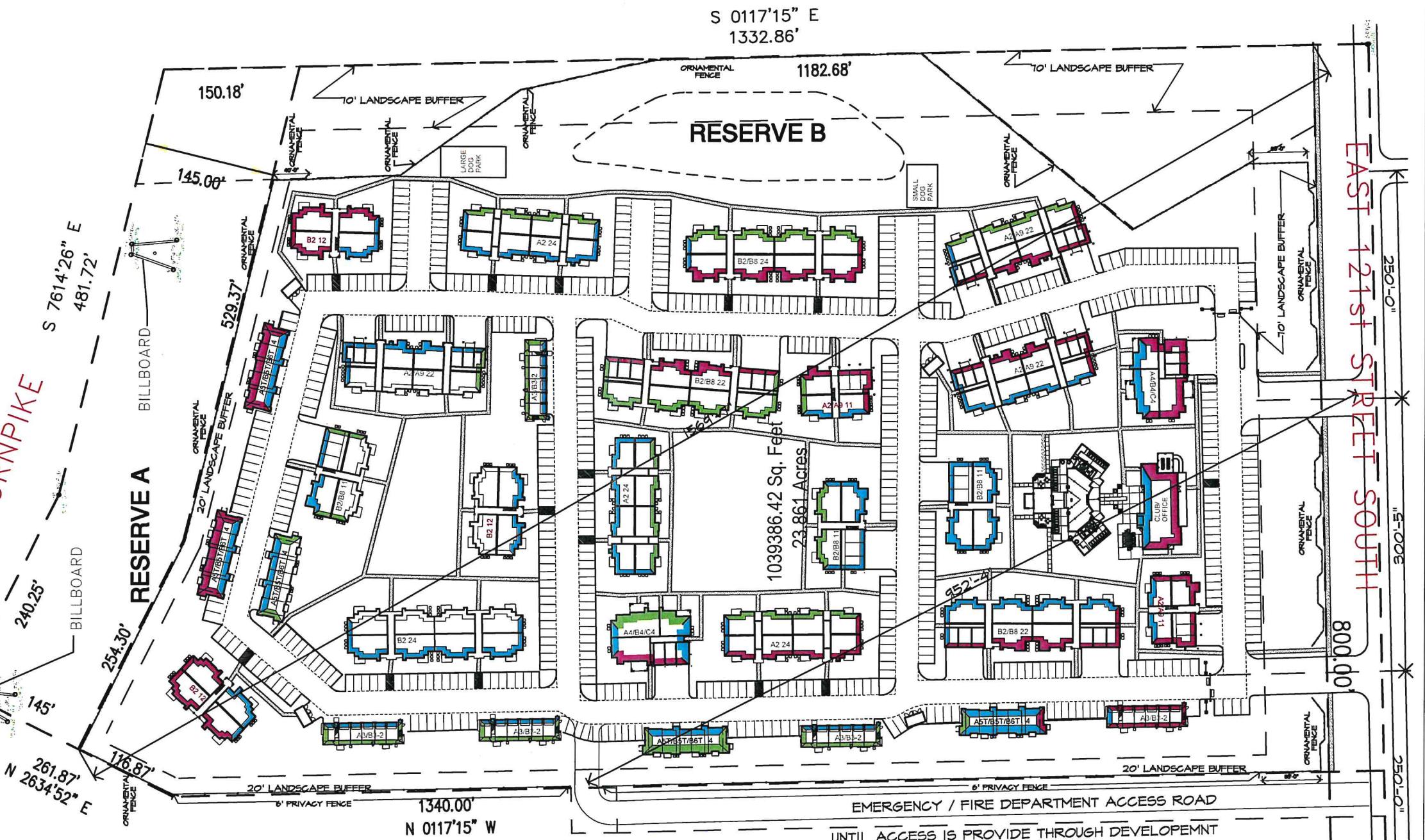
EXHIBIT I

REVISIONS

The Trails at Aspen Creek

SEAL:

TABLE C-1000	
Project Name: The Trails at Aspen Creek Broken Arrow, OK Case & Associates Date: March 23, 2021	
Net Lot Area	22.86 Gross Acres
Units	1,039.385 s.f.
120 Units type A2 One bedroom Units	709 s.f.
1% of total	34.586 s.f.
5 Units type A3 One bedroom Units	866 s.f.
1% of total	43.302 s.f.
6 Units type A4 One bedroom Units	830 s.f.
2% of total	4.980 s.f.
10 Units type AST One bedroom Units	938 s.f.
2% of total	95.580 s.f.
40 Units type A9 One bedroom Units	879 s.f.
1% of total	35.160 s.f.
114 Units type B2 Two bedroom Units	1,100 s.f.
31% of total	35.160 s.f.
5 Units type B3 Two bedroom Units	1,119 s.f.
1% of total	35.160 s.f.
4 Units type B4 Two bedroom Units	1,115 s.f.
5% of total	44.000 s.f.
5 Units type B5 Two bedroom Units	1,240 s.f.
5% of total	6.200 s.f.
47 Units type B6 Two bedroom Units	1,100 s.f.
13% of total	52.070 s.f.
0 Units type C1 Three bedroom Units	1,098 s.f.
0% of total	0 s.f.
5 Units type B7 Two bedroom Units	1,240 s.f.
1% of total	6.200 s.f.
4 Units type C4 Three bedroom Units	1,435 s.f.
1% of total	71.750 s.f.
368 Units Total	390,811 s.f.
106 Garages	40,420 s.f.
2% of total	808 s.f.
103 Total barrier Free Units Required (Accessible)	
7 Barrier Free Units Constructed (Handicap)	
Buildings	Bldg. Areas
5 Buildings type A3/B3 (Garage Bldg)	21,710 s.f.
0 Units type A3/B3 One & Two bedroom Units	4,545 s.f.
2 Unfinished Room	2,100 s.f.
2 Unfinished Room	2,233 s.f.
0 Unfinished Room	0 s.f.
0 Unfinished Room	0 s.f.
3 Buildings type A1/A2	48,300 s.f.
24 Units type A2 One bedroom Units	18,930 s.f.
6 Unfinished Room	6,312 s.f.
8 Unfinished Room	6,312 s.f.
8 Unfinished Room	0 s.f.
0 Unfinished Room	0 s.f.
2 Buildings type A2/B2 - 11 unit w/ garages	20,122 s.f.
11 Garages	1,051 s.f.
3 Unfinished Room	932 s.f.
3 Unfinished Room	2,457 s.f.
4 Unfinished Room	3,330 s.f.
4 Unfinished Room	3,330 s.f.
0 Unfinished Room	0 s.f.
3 Buildings type A2/B2	50,346 s.f.
22 Units type A2 & A3 One bedroom Units	18,654 s.f.
6 Garages	4,914 s.f.
6 Unfinished Room	6,072 s.f.
8 Unfinished Room	6,072 s.f.
8 Unfinished Room	0 s.f.
1 Buildings type B2	25,896 s.f.
24 Units type B2 & A2 One bedroom Units	25,896 s.f.
9 Unfinished Room	8,633 s.f.
8 Unfinished Room	8,632 s.f.
8 Unfinished Room	0 s.f.
3 Buildings type B2/B3 - 12 unit w/ garages	37,180 s.f.
11 Garages	12,600 s.f.
4 Unfinished Room	4,200 s.f.
4 Unfinished Room	4,200 s.f.
4 Unfinished Room	0 s.f.
3 Buildings type B2/B3 - 11 unit w/ garages	38,844 s.f.
11 Garages	12,944 s.f.
3 Unfinished Room	1,108 s.f.
4 Unfinished Room	3,208 s.f.
4 Unfinished Room	4,316 s.f.
0 Unfinished Room	4,210 s.f.
2 Buildings type B3/B6 w/ garages	53,200 s.f.
22 Units type B2 & B3 Two bedroom Units	28,600 s.f.
8 Garages	2,920 s.f.
6 Unfinished Room	6,416 s.f.
6 Unfinished Room	6,416 s.f.
6 Unfinished Room	0 s.f.
2 Buildings type A4/B4/C4 w/ garages	8,832 s.f.
7 Units type A4 & C4 One, Two, & Three Bedroom Units	8,832 s.f.
3 Unfinished Room	1,749 s.f.
3 Unfinished Room	8,709 s.f.
4 Unfinished Room	1,147 s.f.
4 Unfinished Room	3,203 s.f.
0 Unfinished Room	4,110 s.f.
5 Buildings type A5/B5/B6/B7 w/ garages	33,075 s.f.
4 Units Type AST/B5 & B6 One & Two Bedroom Units	6,615 s.f.
5 Garages	2,200 s.f.
4 Unfinished Room	0 s.f.
4 Unfinished Room	2,205 s.f.
0 Unfinished Room	2,205 s.f.
0 Unfinished Room	0 s.f.
30 Buildings Total	390,431 s.f.
Maintenance Building	789 s.f.
1 Clubhouse/Pool Building	3,451 s.f.
31 Buildings (Total Project Square Footage)	194,624 s.f.
Parking	Spaces
181 1 BR units	1.5 spaces each
184 2 BR units	2 spaces each
Handicapped Usable parking spaces total for units	368 spaces
	13 spaces
Parking Provided	Spaces
456 spaces	
Handicapped parking spaces	108 spaces
Garages	120 spaces
Handicapped Usable parking spaces total (part of total spaces)	13 spaces
Building Areas	Gross Bldg. Areas
First Floor Buildings Area	140,199 s.f.
Second Floor Buildings Area	104,493 s.f.
Third Floor Building A2.21	115,493 s.f.
Area of Parking + Area of First Floor Buildings	305,199 s.f.
Area of Lot	0 s.f.
Open Space	734,195 s.f.
Open Space to Lot Area	71 %
(Area of 1/4 mile area of buildings and area of parking)	



MINIMUM EXTERIOR FINISH PERCENTAGE:	
65% MASONRY MIN.	
45% MASONRY MIN.	
20% MASONRY MIN.	
0% MASONRY MIN.	

A EXTENT OF MASONRY PLAN
NORTH
1' = 60'-0"
0 15 30 60 120